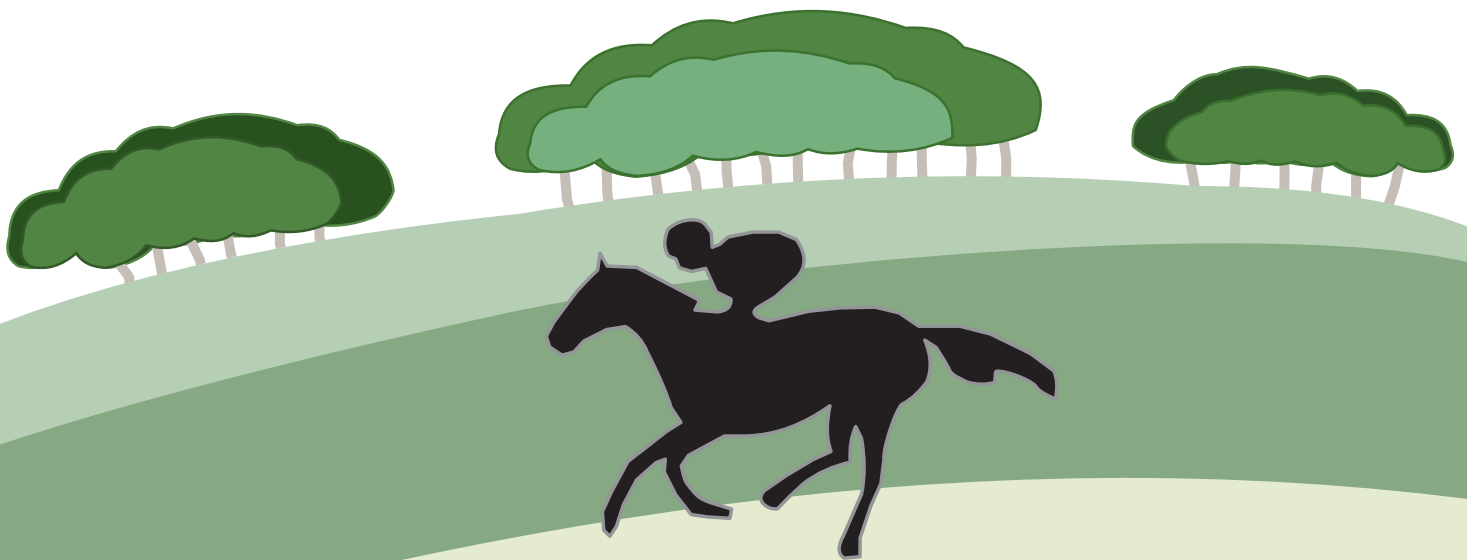


Lambourn Parish Design Code

Prepared by Bluestone Planning
In conjunction with
Lambourn Neighbourhood Plan Steering Group



V6.0 - Updated January 2026

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Parish Wide Design Code

Introduction

This document follows on from the Parish wide Character Appraisal document and should be read together.

The design codes in this document result from the evidence base gathering work undertaken on the Neighbourhood Plan to date.

General Principles

There are a number of general key principles and objectives which should be considered in any development proposal. These will be discussed in the following pages, but include:

Settlement Pattern - respect the existing form of development, within each settlement area, in order to preserve the highly regarded character;

Streets and Public Spaces - preserve and where possible enhance the established well landscaped and wooded character of the Parish;

Ensure that **biodiversity opportunities** are maximised by using native planting;

Layout - Ensure all components e.g. buildings, parking, planting and open space are well related to each other. These should respect the existing layout and be designed to accommodate climate change;

Built Form - respect the existing settlement

CODE LAM.G01 - General Principles for Development

- Proposals for new development, redevelopment, infill development and replacement dwellings must be based on an understanding of Lambourn Parish. All new development are to be based on a proportionately detailed contextual analysis of the specific site and the wider area, with justification for the proposal and how it has been designed to integrate with the wider community.**
- Development schemes should not copy their surroundings or create a pastiche. Each major scheme should have its own identity or character. This should be based on landscape character, urban grain, patterns of built form and the local vernacular, which when combined together create a cohesive scheme.**
- Equally, smaller development proposals must not undermine the identified historic character of an area either in a piecemeal or cumulative approach. Original features should be retained or replaced with appropriate quality equivalents.**
- The degree of information provided should be proportionate to the scale and nature of a development proposal.**

in terms of physical form, layout and architecture. Utilise high quality locally specific materials, which are sustainable;

Scale, Height, Form and Massing - respect the locally specific building forms;

Materials, Appearance and Details - adopt a contextually appropriate palette of materials and colours. This should cover not only the buildings, but also hard landscaping.

Infrastructure - design all utilities and drainage infrastructure from outset to be integrated without causing unacceptable harm to retained features.

Heritage

The heritage and archaeology of the Parish is set out in the Character Appraisal document.

As one of the key defining features of the Parish and as WBC's Archaeology Officer stated:

"Lambourn parish can be said to have some of the highest archaeological potential in West Berkshire...In terms of nationally designated heritage, it has 137 [Listed Buildings](#), the second largest number after Newbury, which has a much larger built up area.

For [Scheduled Monuments](#), it leads West Berkshire parishes"

From this statement it is clear that the duty to preserve listed buildings and/ or their settings and any features of special architectural or historic interest is of utmost importance within the Design Code.

Non-designated heritage assets have a degree of heritage significance but do not meet the

requirements for designated heritage assets including Listed Building status.

Non-designated heritage assets can include buildings, monuments, sites, places or landscapes.

Currently there are no formally identified non-designated heritage assets within the Parish, although many buildings have been identified previously as having special architectural and aesthetic interest.

Following guidance from Historic England the Neighbourhood Steering Group and its consultants have recommended that the Neighbourhood Plan considers the identified potential assets to be formally identified as such (see Character Appraisal Appendix C).

Further information on such assets is found on the Historic England website

<https://historicengland.org.uk/listing/the-list/nonlisted-sites/>

CODE LAM.H01 - Listed Buildings

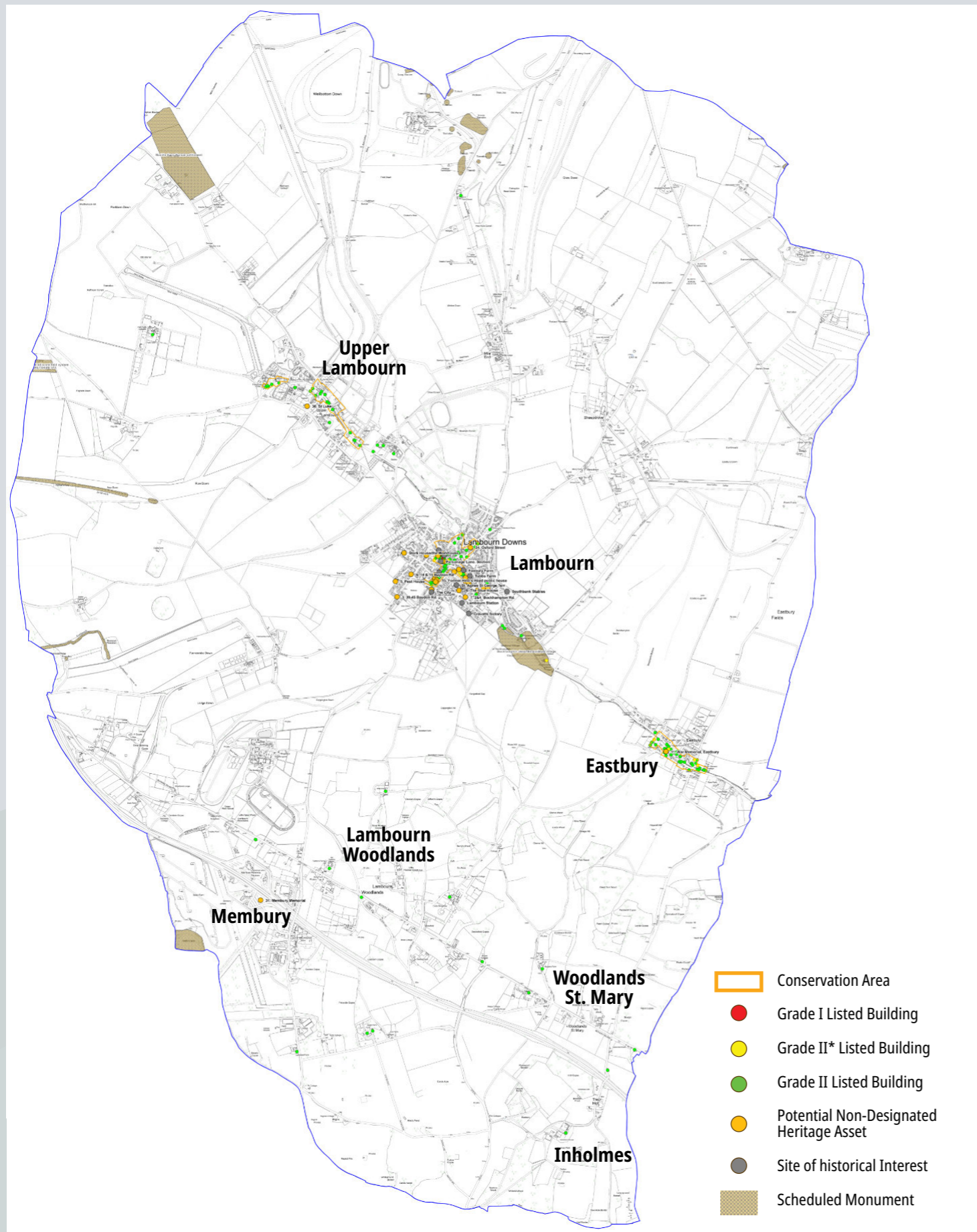
- a. **New development within the setting of listed buildings must follow the NPPF, with regard to the extent to which harm to the significance of the asset is caused.**

CODE LAM.H02 - Conservation Areas

- a. **Within a Conservation Area and its setting, poor-quality and generic design proposals, which are based on 'standard house types' are not acceptable and should not be used. Such designs do not successfully integrate with the originally planned and built form.**
- b. **Major development schemes should not create a 'pastiche' of the existing Conservation Area or other suburban developments in the wider area.**
- c. **New development should seek to incorporate elements of the local vernacular to create a cohesive and contemporary approach. Levels of detailing, high quality materials and appropriate fenestration and their proportions are key.**
- d. **Proposals should (where possible), seek to remove unsympathetic elements or additions, such as poor quality UPVC windows and doors, satellite dishes, suburban fencing, these aspects will be supported.**

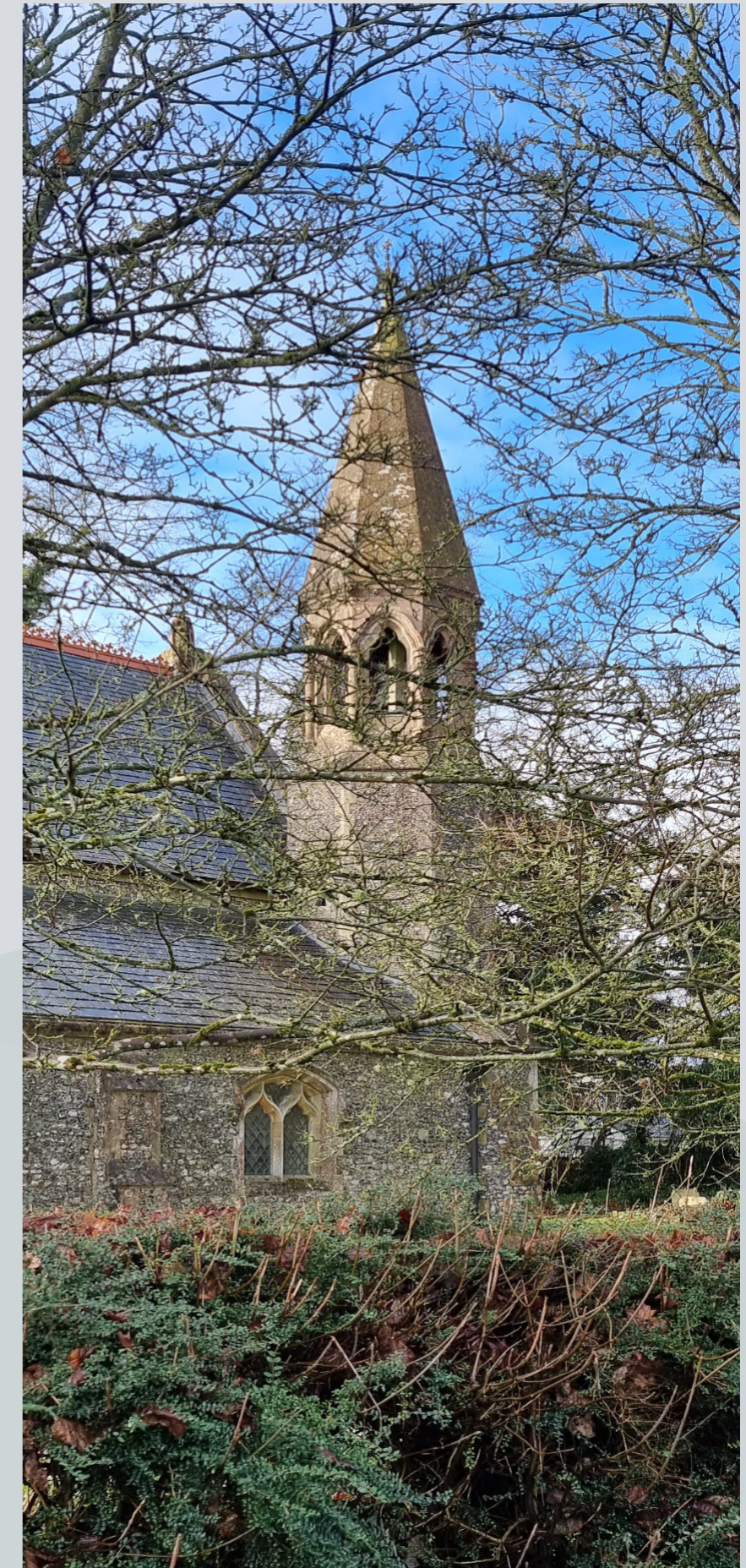
Parish Wide Design Code

Overview of Heritage in the Parish (See Character Appraisal for More Details)



CODE LAM.H03 - Other Designated and Non Designated

- a. Any new development on undeveloped land may have potential for archaeology given the significant finds and remains in the area as identified in the section above.
- b. Applicants **must** be aware of this and where relevant an archaeological assessment and or survey should be undertaken as appropriate.
- c. Any proposals which affect the Locally Important buildings /non-designated heritage asset and their setting as shown in the Neighbourhood Plan, **should** justify how the proposed scheme accords with the NPPF. In particular, the need for a balanced judgement relating to the scale of any harm or loss and the significance of the heritage asset.



Layout, Siting and Density

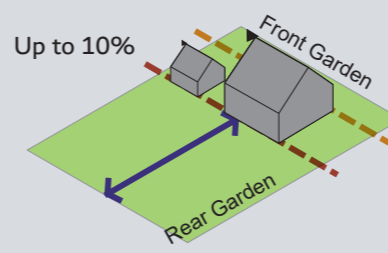
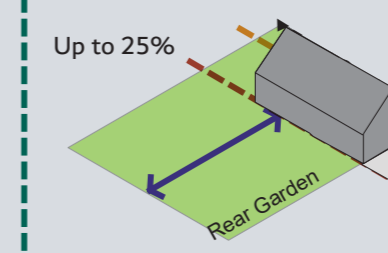
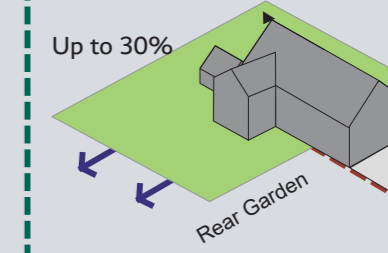
The density of new development should be sympathetic to the immediate local context, overall character of Lambourn and intended character of the new development.

The density of an area helps to determine the character and activities taking place on the street. For example where there is a higher density there is higher footfall. As such, higher density units should be located along primary routes, where there should be community facilities, business and retail uses. In this instance it is unlikely to apply to Lambourn, as there are few opportunities for larger scale mixed use developments in the future.

The density of any new development should gradually increase away from settlement edges towards the centre of the village. In this instance Lambourn has largely linear settlements where the majority of buildings are, facing or backing onto open countryside.

The settlement edge areas should be designed to create a rural appearance and respecting the fact that this is a rural area contained by a largely wooded landscape in many areas.

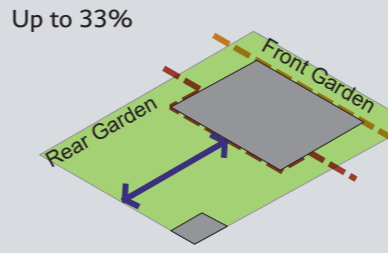
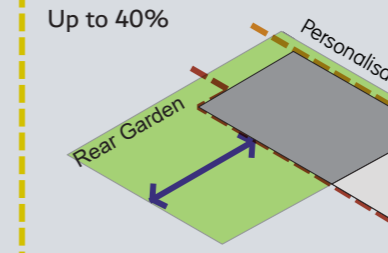
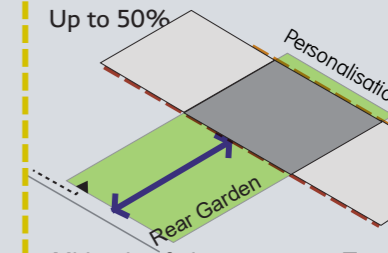
Plot Coverage and Plan Form Examples by Setting

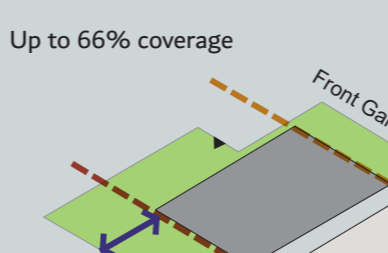
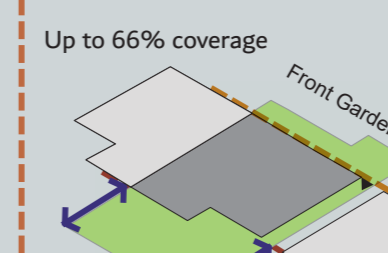
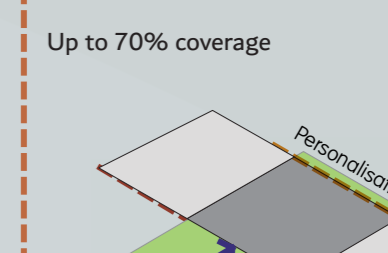
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| <p>Detached - bungalows in large gardens or 2 storey</p> <p>Up to 10%</p>  <p>Very low ratio of plot coverage - significant space on all sides - allows for outbuildings. Excellent garden depth for property size.</p> <p>Appropriate to countryside setting only as does not make best use of land</p> | <p>Semi-detached or end of terrace - 2 storey farm dwellings or cottages in the countryside - on plot parking</p> <p>Up to 25%</p>  <p>Very low ratio of plot coverage - significant space to the side - allows for outbuildings. Excellent garden depth for property size.</p> <p>Appropriate to countryside setting or edge of settlement</p> | <p>Semi-Detached or end of terrace - 2 storey farm dwellings or cottages in the countryside - on plot parking</p> <p>Up to 30%</p>  <p>Very low ratio of plot coverage - significant space to the side - allows for outbuildings. Excellent garden depth for property size.</p> <p>Appropriate to countryside setting or edge of settlement</p> |
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CODE LAM.L01 - Density & Layout

Due to the nature of the Parish, the majority, if not all new development is likely to have one or more boundaries with a rural or countryside edge.

- a. Such developments should be lower density and well integrated into the landscape setting of the Parish, to effect a gradual change from countryside to village.
- b. Suburban plot coverage (as highlighted in the diagrams above), layouts and densities will not be supported.
- c. The settlements of Upper Lambourn and Eastbury usually have a linear, dispersed pattern. Unfortunately there has been some in-depth development over time which has created standard suburban housing developments lacking in landscaping with many urbanising features such as high gates, fences and walls and designs which are not in keeping with the character of the area. These **should not** be repeated and would not be supported.
- d. Linear settlements following historic routes **should** not be overly extended such that it causes the coalescence between settlements and causes the original settlement identity to be lost.
- e. The layout of any new development should include a range of building types and plots to reflect different occupiers and to be adaptable over time. These should include a mix of buildings that are suitable for a range of ages and lifestyles including high quality homes for those people looking to downsize.
- f. Density **should** be mixed to protect amenity of neighbours, emphasise key views, support facilities and use density to increase public transport use whenever possible.
- g. A suitable balance **must** be struck between the amount of:
 - built form covering plots
 - landscaping
 - amenity space and
 - public realm provision
- i. The layout **should** reflect the existing pattern of development, in addition to passive environmental design and maximise opportunities for natural day lighting and solar gain.

| | | |
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| <p>Detached - larger houses in either countryside or village setting with on plot parking</p> <p>Up to 33%</p>  <p>Low ratio of plot coverage - significant space on all sides. Good garden depth for property size.</p> <p>Appropriate to countryside / edge of settlement or as landmark building in village</p> | <p>Semi-detached - large houses in village setting as part of a roadside frontage and parking / on plot</p> <p>Up to 40%</p>  <p>Mid ratio of plot coverage - significant space to side. Good garden depth for property size.</p> <p>Appropriate to countryside / edge of settlement (with deeper front garden) or in village adjacent to similar sized plots</p> | <p>Mid Terrace - 1 to 2 storey houses usually in village setting as part of a roadside frontage and parking</p> <p>Up to 50%</p>  <p>Mid ratio of plot coverage - Terraced property - with rear access to garden. Proportionate garden depth for property size.</p> <p>Appropriate to village usually along road frontage in centre or in courtyard development inc farm conversions</p> |
|---|--|---|

| | | |
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| <p>Detached - modern estate property in village with frontage / on plot parking</p> <p>Up to 66% coverage</p>  <p>Limited size rear garden</p> <p>High ratio of plot coverage - space to one side. Poor rear garden depth for property size and less usable if overshadowed.</p> <p>Rarely appropriate suburban deep plan form, with limited amenity space</p> | <p>Semi-detached - modern estate property in village with frontage or courtyard parking</p> <p>Up to 66% coverage</p>  <p>Limited size rear garden</p> <p>High ratio of plot coverage - limited green space and narrow access to the side. Adequate garden depth for property size if not overshadowed.</p> <p>Rarely appropriate suburban plan form, with limited amenity space</p> | <p>Mid Terrace - modern estate property in village with on street or courtyard parking</p> <p>Up to 70% coverage</p>  <p>Limited size rear garden</p> <p>Very high ratio of plot coverage - no space or access to the side. Limited garden depth for property size and less usable if overshadowed.</p> <p>Rarely appropriate suburban square plan form, with limited amenity space</p> |
|--|--|---|

Edge of Settlement Development

EXAMPLE LAM02

High levels of on plot native planting to integrate with the wooded character of the area



Spacing of development, allowing the countryside to be viewed beyond

Open Countryside

Gaps to allow views and landscaping

Gaps to allow views and landscaping

Gaps to allow views and landscaping

Gaps to allow views and landscaping

CODE LAM.L02 - Integrating Development into the Landscape

When new development is proposed the following approach should be undertaken:

- a. Between any new development and the open countryside, a buffer should be provided in the form of native hedgerows, small pockets of native woodland planting, ponds, or meadows (as appropriate to the surroundings and scale of development). The latter two are of particular importance for areas prone to flood.
- b. Such buffer areas should be planted and maintained as biodiversity corridors.
- c. Proposed streets on the edge of the development should be designed to be in keeping with rural road network with minimal

road geometry, signage, kerbs and other urban clutter.

- d. Where development is exposed to open countryside, development should be lower density, with lower roof heights, and greater integration with native planting species, rather than ornamental.
- e. Rear gardens which are adjacent to the open countryside must not be bounded by publicly visible tall suburban fences, as this creates a hard edge. Instead a mix of native hedgerow planting **SHOULD** be provided onto a field edge with either no fencing or fencing set behind if required.

- f. Where possible, rear gardens should be provided and not be on display to the public realm, back garden to back garden development should be planned for.
- g. Gaps between buildings should be provided be placed to allow for filtered views to and from countryside to any landmarks and features, and establish visual links with public open spaces.

Layout and Siting of Buildings

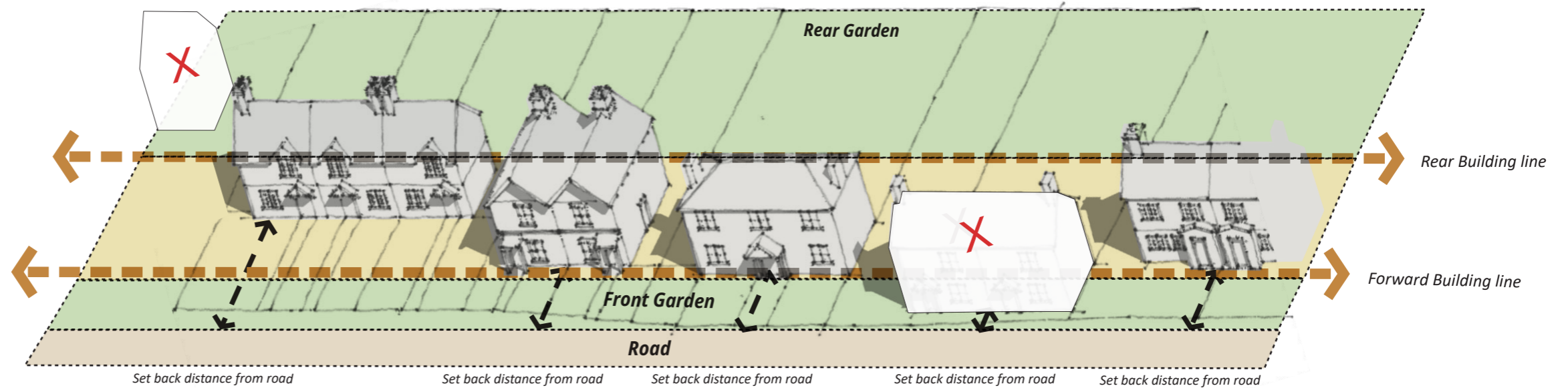
Within a linear street pattern there is a strongly designed, but varied building line along the street. This is also found in courtyard layouts and other enclosed layout forms found in the Parish.

Areas with strong landscaping, where tree and shrub planting provides uniformity tree and hedgerow lines can also provide strong lines in a street.

Both reinforce continuity in different ways and help to define the character of each area. The more modern residential areas of Lambourn village tend to have more variations in the building line creating a more informal open character.

The building line along a street should generally be consistent and present a unified whole for each character area, allowing for subtle variations with recesses and protrusions.

Some areas within Lambourn should have more variations than others depending on the design and function. This provides variety and movement along the street and is successful at drawing your eye along and leading one to a destination.



Example of a building line along a street, where a proposed new dwelling would be closer to the street than the general forward building line and potentially could dominate the street scene.

Small variations in the building line can be used to create interest and visual appeal.

Buildings can be set back slightly from the property line to create a sense of space, or they can be projected slightly forward to create a sense of enclosure.

CODE LAM.L03 - Building Lines and Setback

New development (including extensions to existing buildings) should be no further back than the general building line of the street, allowing for a degree of variance and highlighted in the diagram.

Designers should consider:

- a. the set back of the opposite property so as not to create an inappropriate level of openness or overlooking.
- b. Where plots are set back more than 5m from the edge of any pavement or carriageway on both sides of the street, a higher degree of native soft landscaping should be used to provide an appropriate degree of enclosure.

- c. Buildings and tree planting should be placed and oriented in a way that creates a consistent building line along the street. There should be an allowance made for small variations, in the form of depressions and protrusions which can be used to create variety and interest.
- d. Where front gardens are more limited such as in a courtyard development, a minimal personalisation strip should be provided to allow for small planters and low level planting to be included to offer some softening to the otherwise hard urban fabric. The placing of planting can also assist with reinforcing the building line.



Example of clear building lines in Mill Lane, Lambourn with buildings sited in a similar position along the street. Here the properties are set far enough back that there are a good sized front gardens which are either enclosed by hedges or low walls.

Scale, Height & Massing

The size, shape, and overall form of buildings has a significant impact on the character of a place and can help to distinguish between different areas within a settlement or parish.

The massing of a building or groups of buildings refer to perceived shape, form, and size, and is determined by the way in which the building is arranged on its site. This is especially important for larger buildings or those with entrances on more than one side.

In the Parish, the scale, form, and massing of buildings varies between different character areas. For example, in the smaller settlements the character is dominated by farms and agricultural buildings utilising a number of different typologies. The Parish is a rural environment with a wide variety of different buildings set in naturally landscaped rural lanes, particularly when compared to the later developed areas within Lambourn village.

This latter development comprises a number of modern developments with generic buildings forms, which do not relate to the local vernacular.

When designing new buildings, it is important to consider the scale, form, and massing of the surrounding buildings.

New buildings should be designed in a way that creates a harmonious relationship with neighbouring buildings, spaces, and streets.

Designers should also seek to embody and enhance the most celebrated characteristics of the different character areas in the Parish.

The majority of buildings in the Parish are 1.5 or 2 storey.

In a rural parish such as this, the mature trees which line the streets and lanes, are often the most dominant feature.

A varied and visually interesting roofscape is a characteristic of Lambourn and is key in any new development. Buildings may be subtly different in height to add character or be the same height but slightly set back, creating a varied roof line.

Taller buildings can be placed at the end of a road or junction to terminate a vista, which helps to enclose the space and identify the end point or junction.

The introduction of taller buildings without a specific justification is not appropriate. Tall buildings should be focal features, terminations to long vistas, buildings of importance such as services, facilities and commercial properties.

Equally a development of solely 2 storey buildings of the same ridge height, will also likely be inappropriate, as this does not represent the successful variation found within the Character Areas.

Enclosure

Enclosure refers to the relationship between public spaces and the buildings and other features such as trees and landscaping that surround them.

Within the Parish, the level of enclosure varies throughout the different character areas.

Outside the Lambourn village centre, the buildings are generally lower in height (2 storey) and the lanes are narrow and surrounded by mature trees or tall hedgerow vegetation.

The high degree of enclosure provided by mature vegetation is a key characteristic throughout much of the Parish's settled areas.

This contrasts with the modern development in the higher density area in some parts of Lambourn village which has much less vegetation and wide, open grassed areas and parking.

Within the Lambourn Woodlands, Woodlands St Mary and the Membury Industrial areas, properties may also be adjacent to large scale commercial and industrial properties.

A varied roof line can be found even where the buildings are all two storey. Variety can be added through roof forms, gable features and dormers, as well as differing ridge heights and eaves lines.



Example of the varied building heights in a street adding interest to the street scene. Note that the changes in height are proportionate and one building does not dominate another or cause problems with overlooking and loss of privacy through careful placement of windows.



A wider, more open street which reflects the status within the village core. Here buildings front the street and were often commercial properties (largely converted to residential use) designed around their trade.

The lack of planting in the street give it a hard, more urban appearance.

The wide, two way street encourages increased traffic speeds, although this is lowered by on street parking. Pedestrians and cyclists here do not feel as comfortable in this space as they would in an area with better enclosure and improved footways. The area is often dominated by on-street parking, with this becoming the main focus of the street.



Reduced level of openness created between by the position of housing leading to a more intimate space. This area has high levels of pedestrians due to the proximity to the school. An enclosed space such as this with high pedestrian use generally encourages lower traffic speeds.

CODE LAM.L04 - Scale, Height, Massing & Enclosure

New development and redevelopment proposals should:

- a. Be of a scale and massing that is consistent with the surrounding buildings and enhances existing features, landmarks and other focal points.
- b. Use simple forms that are similar to the surrounding buildings.
- c. Consider pedestrian scale and enclosure and set back larger buildings from the road to reduce their impact on the street.
- d. Use materials and colours that complement the surrounding buildings.
- e. Examine how the scale, form and massing within a street should be varied along its length to create visual interest.
- f. Be mindful of where changes are being made to an existing street, consider the impact not only on the existing building, but also the wider street scene. Many buildings in Lambourn have been specifically designed to correspond to their neighbouring property, and a single change could have an adverse impact on this.
- g. Consider how the specific mix of houses and other uses required in an area can be accommodated, with the typologies used (including terraced, semi-detached and detached dwellings, as well as commercial and community buildings), to good effect with appropriate scale form and mass adding variety.
- h. Avoid overshadowing of neighbouring properties and ensure adequate privacy through the careful placement of fenestration, and natural light for the occupants of both new and existing dwellings.

i. Be sympathetic in height and proportions, offering the appropriate degree of enclosure to the surrounding context. More specifically:

- In the centre of Lambourn, buildings range up to 3 storeys in height. In all other locations, 3 storey buildings are rare and 1.5 and 2 storey buildings predominate (with the exception of industrial buildings).
- On major developments, a varied roof line is encouraged, but this should be part of a wider masterplan approach, which considers building typologies across a site, which are based on the needs of the Parish.
- Where new development or extensions are proposed to be greater than the height of surrounding buildings, sufficient justification will have to be provided.
- Tall buildings should be focal features, terminations to long vistas, buildings of importance such as services, facilities and commercial properties.
- Include variety in building heights, which can be achieved by providing a range of different ridge heights.
- Consider utilising roof space rather than full floors. Where adjacent buildings are of a similar scale - 1.5 storey and low 2.5 storey buildings with rooms in the roof utilising traditional dormer windows.

Local Building Forms

Building Forms

In general, buildings are of a simple rectangular form for the main element. Where extended, this is usually through a rear extension which is of a smaller scale. Some of the different variety of forms are highlighted opposite. New buildings should be designed with this in mind.

There are few terraced properties within the parish, but where they exist, they are generally modern.

The new building form should take into account natural light and overshadowing.

Habitable rooms should be located at the front of the building facing public space to provide natural surveillance in addition to upper floor windows.



Interest can be added to the street scene by the use of contrasting materials, through projected elements and combining dwellings types and outbuildings. The preference is to combine buildings rather than make a single dwelling unnecessarily complex.

Detached, narrow, deep-plan forms should be avoided where possible as they often result in narrow gardens and create difficulty in achieving internal natural light. Instead, these are appropriate when combined as a pair for example as shown adjacent and giving sufficient space for landscaping at the side.

Roof Forms

The roof forms are generally simple, with a range of forms including hipped and gable ends being utilised, with more limited half-hipped forms.

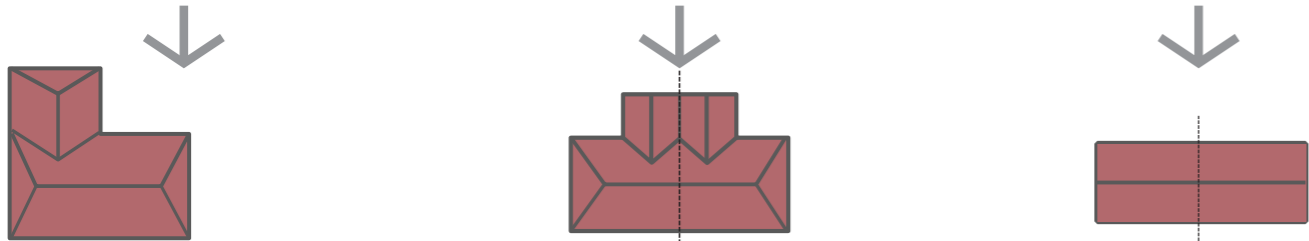
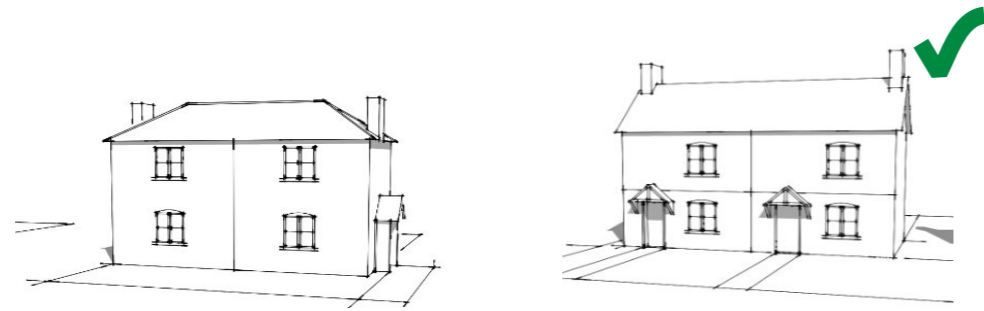
The pitch is generally low for slate and higher for clay tile, but still at 45° or lower. Flat roofs should be avoided, unless an integral part of a contemporary design.

Thatched roofs have a much steeper pitch and replacement with other materials should not be supported.

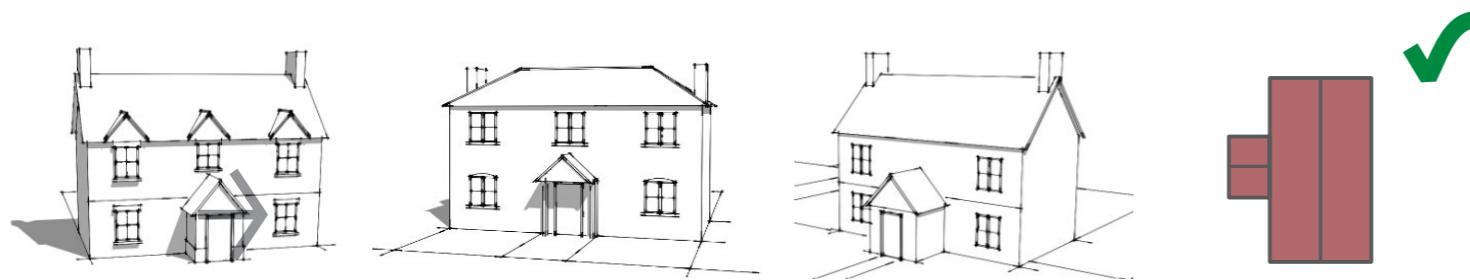
Brick chimneys are characteristic of Lambourn and should be incorporated into traditional dwellings to add visual interest to the roof lines,



Decorative ridge detailing is commonplace. Ridge tiles are often a same colour to the roof tiles.



Simple cottages are predominant throughout the area, but often extensively extended. Sometimes the original plan form is doubled, and or single storey additions added to the side and rear. Usually built as a pair, such buildings are often converted to a single dwelling.



Traditional farmhouses and larger cottages again are simply designed in terms of form (but not appearance), often with a front porch. Higher levels of detailing are found on more affluent properties. Such properties are often extended by doubling the plan form or single storey additions. Attention should be paid to symmetry and proportions.



CODE LAM.L05 - Building Forms

Building Forms

- a. New buildings should be designed with a rectangular plan form and a pitched roof spanning the narrower plan dimension, as is typical of traditional buildings in West Berkshire.
- b. The new building form should take into account natural light and overshadowing.
- c. Interest can be added to the street scene by the use of contrasting materials, through projected elements, and by combining dwellings and outbuildings.
- d. Detached, narrow, deep-plan forms should

be avoided where possible, as they often result in narrow, overlooked gardens and make it difficult to achieve internal natural light. These forms may be more appropriate however when forming part of a semi-detached property within a wider plot.

- e. Habitable rooms should be located at the front of the building facing public space to provide natural surveillance in addition to upper floor windows.

Roof type

- a. A variety of roof types are locally specific and could be used, including pitched roofs

with gable ends and equal amounts of hipped and half-hipped details.

- b. Flat roofs should be avoided, unless an integral part of a contemporary design.

Roof pitch

- a. The roof pitch should reflect the overall character of the area. Pitch is lower for slate than for tile, which is around 45°. Variation can be achieved in the street scene with a subtle co-ordinated approach on ridge heights, pitch and other elements of detailing of the roof.

Chimneys

- a. Brick chimneys are characteristic of Lambourn and should be incorporated into traditional dwellings to add visual interest to the roof lines.
- b. Chimneys should be positioned along the ridge at the edge of the dwelling or along the ridge in the centre of the dwelling's roof.

Ridge detailing

- a. Decorative ridge detailing is commonplace. Ridge tiles are usually the same colour as the roof tiles.

Materials & Colour Palette

The wide variety of materials and potential colour palettes are examined in more detail overleaf, with reference to each of the settlement areas.

These look at roof coverings, walling materials, windows, doors, landscaping and parking areas, as well as boundaries.

In addition to materials which are recommended, there are a number of elements to consider when weighing up the difference between using traditional materials and man made alternatives.

On modern buildings replacing UPVC windows and doors with newer, more thermally efficient windows and doors may be entirely appropriate. On older properties however, opportunities should be sought to replace poor quality materials wherever possible.

The focus on traditional buildings does not mean that a contemporary approach will not be acceptable.

Modern, high quality design is encouraged, and to be successful, the proposal should be sensitive to locally specific materials, features and landscapes by utilising materials such as steel, timber, and glass within the more traditional palette.

Positive examples are highlighted overleaf, whilst poor quality materials are shown below. These may include:

- fake stone panels either standalone or with red brick quoins and lintels;
- fibreglass canopy porches or bay windows;
- expansive, plain red facing brick with little detailing or variation; and
- poor quality concrete tiles - either plain or pantiles.

CODE LAM.L06 - Materials & Colour Palette

- Applicants must demonstrate how they have drawn upon the materials' palette as set out below and as befits their site and its circumstances.**
- There are a number of locally appropriate materials as shown on the character area sheets overleaf:**
 - Plain clay tiles (for roofing and some limited hanging tiles)
 - Natural Welsh slate roofing
 - Thatch (combed wheat often replaced by water reed - see details below)
 - Berkshire red or orange/red brick, with highlighted burnt / vitrified ends and blue / buff quoins and other details such as string courses
 - Painted render (pastel shades)
 - Limited timber framing and exposed joinery (except for outbuildings)
 - Timber cladding on outbuildings
 - Metal roofing - corrugated on outbuildings and farm buildings
 - Neutral painted casement or sash windows
- Modern man-made cement boarding and plastic**

- based products are not sustainable and will tire, date and age quickly and therefore should be avoided.**
- Simple farm cottages generally have less detailing, whereas cottages linked to wealthier farms and estates, as well as farmhouses and other important buildings have a range of brick and or timber detailing.**
- Most cottages have simple facades, although there is evidence of projecting string courses and plinths, dentilation detailing and other brick details.**
- The majority of roofs are finished either with plain clay tiles or slate.**
- Where there is a thatched roof present, combed wheat reed is preferable and a soft rounded flush ridge can be created. Water reed is not a traditional material in the area, and is not supported.***
- Where dormer windows are present, these are to be finished as per the main roof covering.**
- Traditional dwellings in Lambourn have chimneys, they are often ornate and have a positive contribution to the roofscape.**

Inappropriate Modern Building Mass Produced Building Materials X

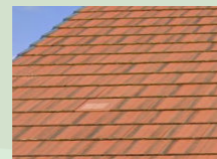
Mass-Produced building materials: These are typically manufactured in large quantities using standardised processes and materials. While they may be consistent in quality, they often lack the individuality and character of locally sourced materials.

Their uniformity can sometimes lead to a monotonous appearance, particularly when used in large quantities.

In repairs, mass-produced materials can clash with the traditional materials and craftsmanship of historic buildings, resulting in a disjointed appearance and may adversely affect the performance of historic



Preformed bay window canopies in GRP with poorly coloured roofing and excessive use of flashing is not in keeping with the character of the area



Concrete roof tiles do not fade in the same way that clay does. The colours are often garish and dominate the street scene, particularly in contrast to existing buildings



Uniform brick colours and bonds add little in terms of visual interest and do not reflect the local brick.



The uniformity and lack of variation is markedly different to traditional building materials



Uniform fake stone panels are usually not successful and despite their introduction to the Parish, further use is not supported.

Thatched Roof Repairs

If combed wheat reed or long straw is the traditional type of thatch in the area, changing to water reed could well harm the significance of a listed building, and will need listed building consent.

To avoid this, when considering whether to use water reed to spar-coat or re-thatch an existing combed wheat reed or long straw roof, we suggest that you consider the following questions:

- Does the building or area where the building is located have a tradition of combed wheat reed or long straw thatching?
- Does the thatching material currently on the roof contribute to the heritage values of the building (taking into account issues of authenticity, as well as appearance and style)?

If the answer to the above questions is 'yes', re-thatching with an alternative material such as water reed (or combed wheat reed in place of long straw) will harm the significance of the building and may also have an impact on local distinctiveness.

To sustain the significance of the building, it is therefore important to seek an alternative to spar-coating or re-thatching with a different material.

In this case, you should consider the following:

- Could re-thatching of any particular elevation be safely delayed for several months (until such time as straw from the following year's harvest becomes available)?
- Could the roof be patch repaired with straw?
- Could the roof be repaired temporarily with a rick-coat (stack-coat or step-coat) of straw instead of a full spar coat?
- Could the roof be temporarily protected with a tarpaulin or other waterproof sheeting?

See: <https://historicengland.org.uk/advice/technical-advice/buildings/thatching-advice/>

* Guidance from Historic England on thatching and repairs.

Roof



Plain Clay tiles - red / orange.
 More limited slate
 Decorative and plain hanging tiles - red/ orange
 Concrete tiles are inappropriate due to poor colour match, form and variety
 Traditional thatched long straw roofing



Roof Windows



Small cottage casement dormer windows, generally set into the roof with some cutting of the eaves line. Simple form detailing or decorative bargeboards

Walls



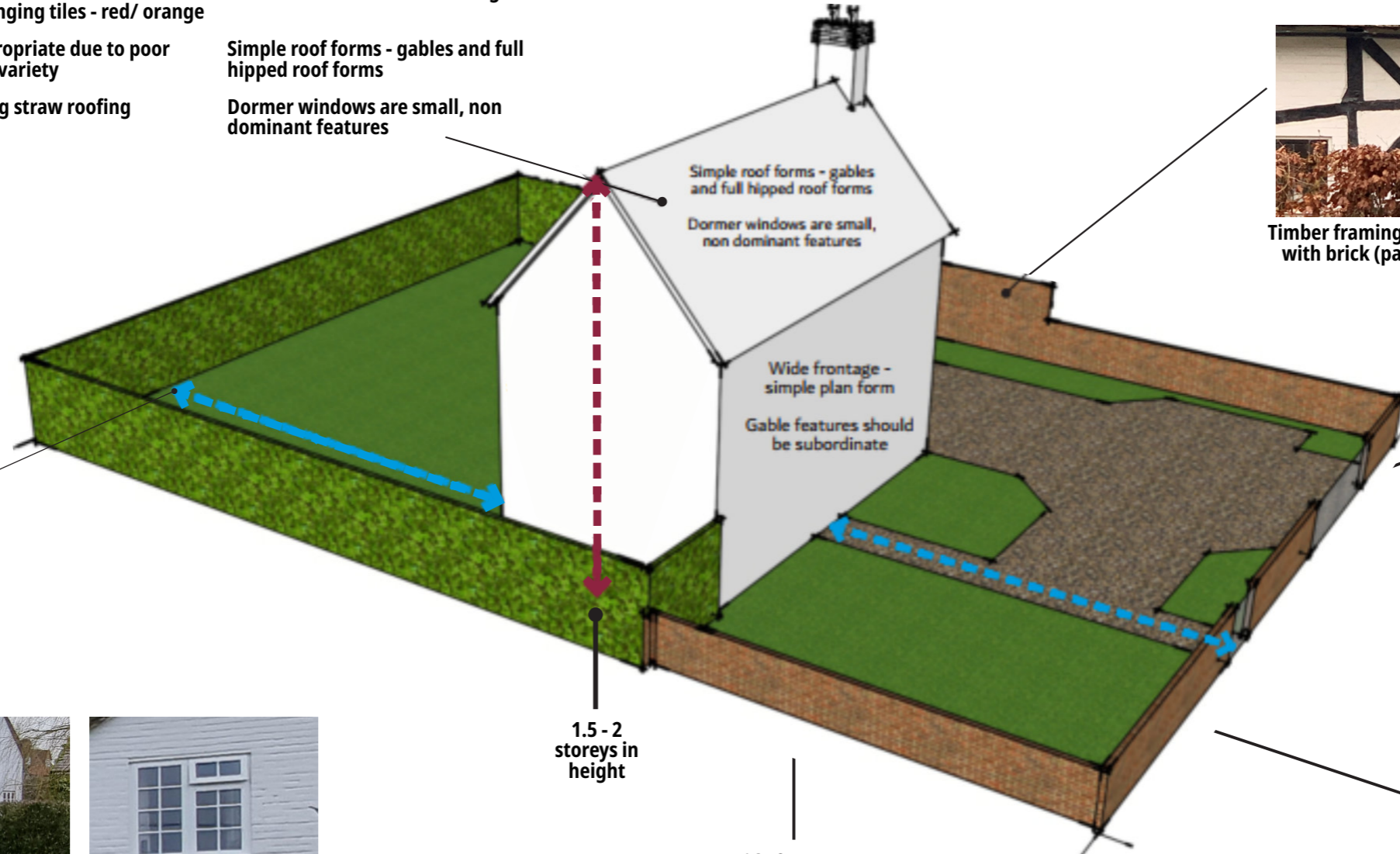
Modern decorative brickwork - diaper work
 Painted render and limewash
 Brickwork detailing and local coursed stone with



Timber framing infilled with brick (painted)
 Flint - surrounded by brickwork detailing and quoins
 Timber cladding - dark stained

Gardens

Rear gardens over 15 metres in depth
 Size of garden should relate to the property and provide suitable amenity space for occupants.
 Plot sizes should reflect those in the wider area



Off street parking

not dominating the plot - in parking courtyards to be enclosed by walls or hedgerows.
 Gates to reflect the prevailing character
 Car barns or garage outbuildings to be separate and form boundary walls to reflect the agricultural nature of the area

Windows



Predominantly Cottage casement windows - with fewer sash windows and other feature windows including bow, bay and arched

Front gardens

A mix of buildings fronting the street with side access and gardens. Or properties set well into their plots surrounded by walls and hedges, at least 5+ metres although many significantly larger.
 Well contained from roads and lanes, but visibility at eye level is not restricted at entrances and gateways

Boundary Treatments



Beech hedge
 Post and rail fencing
 Local stone wall boundary - surrounded by local bricks
 Whitewashed chalk wall - clay capped

Lambourn (modern and historic areas)

Roof



Plain Clay tiles - red, red / orange.

More limited slate or slate on outbuildings and extensions

Decorative and plain hanging tiles - red / orange Concrete tiles are inappropriate due to poor colour match, form and variety

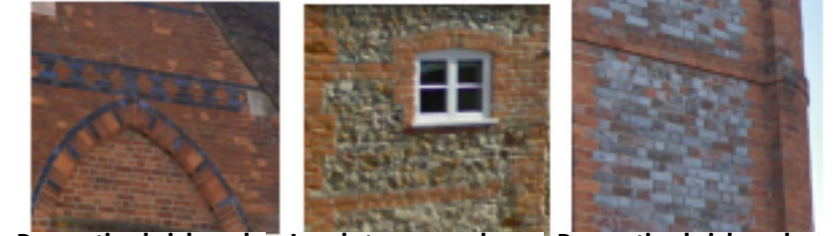
Limited thatched roofs

Roof Windows



Small cottage casement dormer windows, generally set into the roof with some cutting of the eaves line. Simple form detailing or decorative bargeboards. Dormer windows are small, non

Walls



Decorative brickwork detailing

Local stone - random rubble with brickwork banding and quoins

Decorative brickwork detailing (use of blue brick), quoins/ dressings



Handmade facing brickwork - Berkshire red / including use of burnt or vitrified headers

Local stone - coursed rubble with brickwork banding

Light / pastel painted render

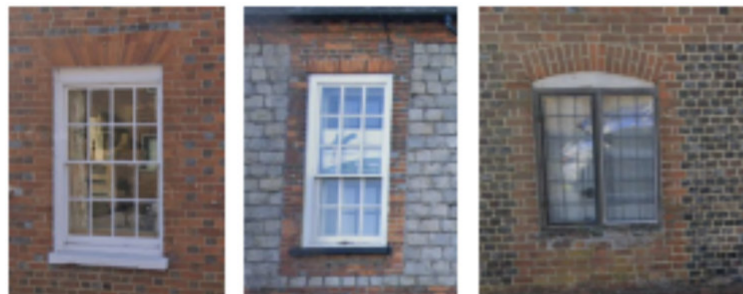
Gardens

Rear gardens over 12 metres in depth for modern areas, with more limited space for older properties.

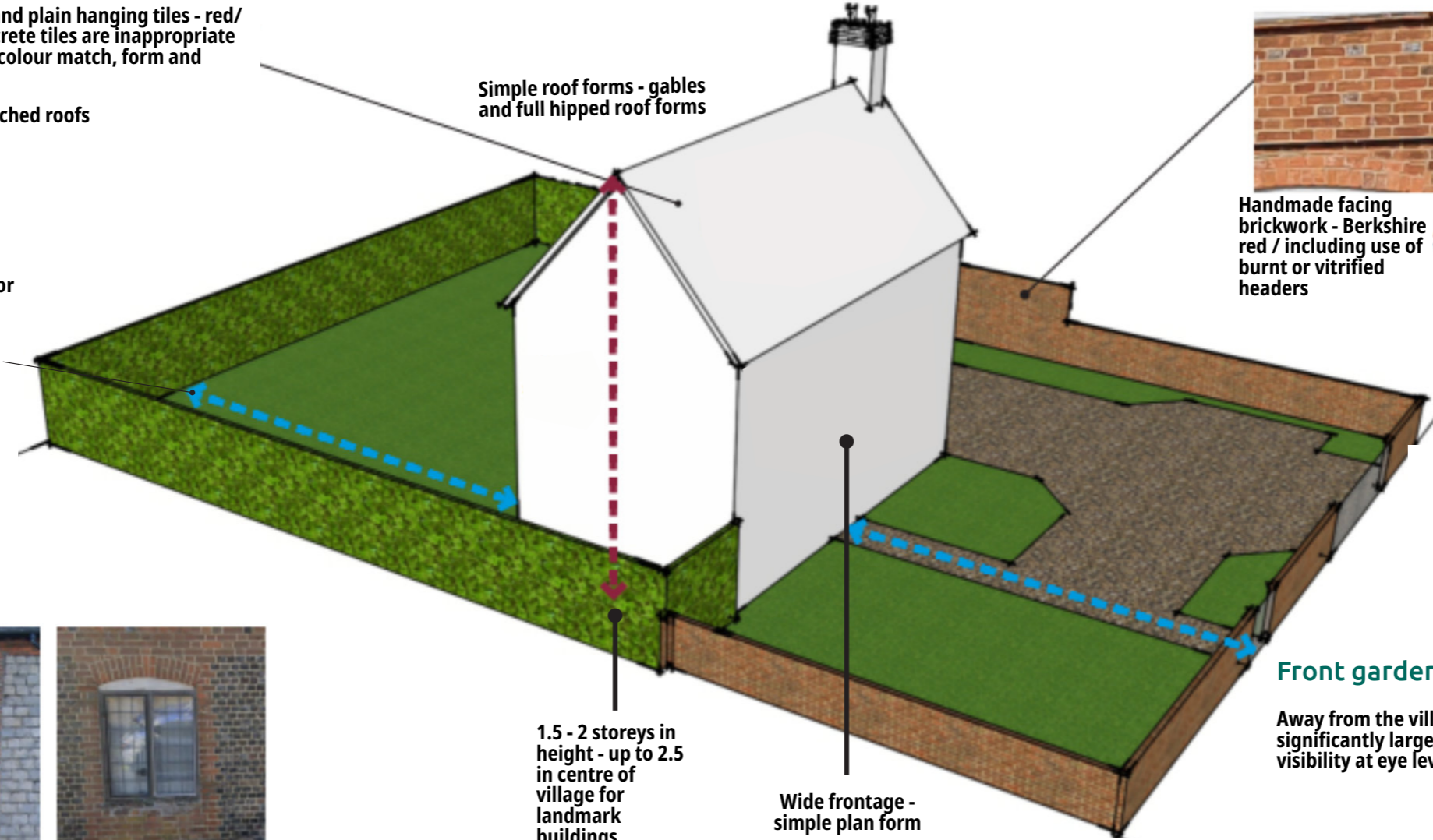
Size of garden should relate to the property and provide suitable amenity space for occupants.

Plot sizes should reflect those in the wider area

Windows



Equal mix of Cottage casement windows - with sash windows on higher profile buildings other feature windows including bow, bay and arched, on older properties the former often relate to shop fronts and display windows



Simple roof forms - gables and full hipped roof forms

1.5 - 2 storeys in height - up to 2.5 in centre of village for landmark buildings

Wide frontage - simple plan form

Gable features should be subordinate

Off street parking

Not dominating the plot - in parking courtyards to be enclosed by walls or hedgerows.

Gates to reflect the prevailing character

Car barns or garage outbuildings to be separate and form boundary walls to reflect the agricultural nature of the area

Front gardens

Away from the village centre average 5+ metres although many significantly larger. Well contained from roads and lanes, but visibility at eye level is not restricted

Boundary Treatments



Low brick wall topped with railings

Local stone wall boundary - contained by local brick - concrete capping (not supported) and clay tiles on the other, both with brick plinth and details

Hedged front boundary

Roof



- Plain Clay tiles - red / orange.
- More limited slate
- Decorative and plain hanging tiles - red/ orange
- Concrete tiles are inappropriate due to poor colour match, form and variety
- Traditional thatched long straw roofing

Roof Windows



Small cottage casement dormer windows, generally set into the roof with some cutting of the eaves line. Simple form detailing or decorative bargeboards

Walls

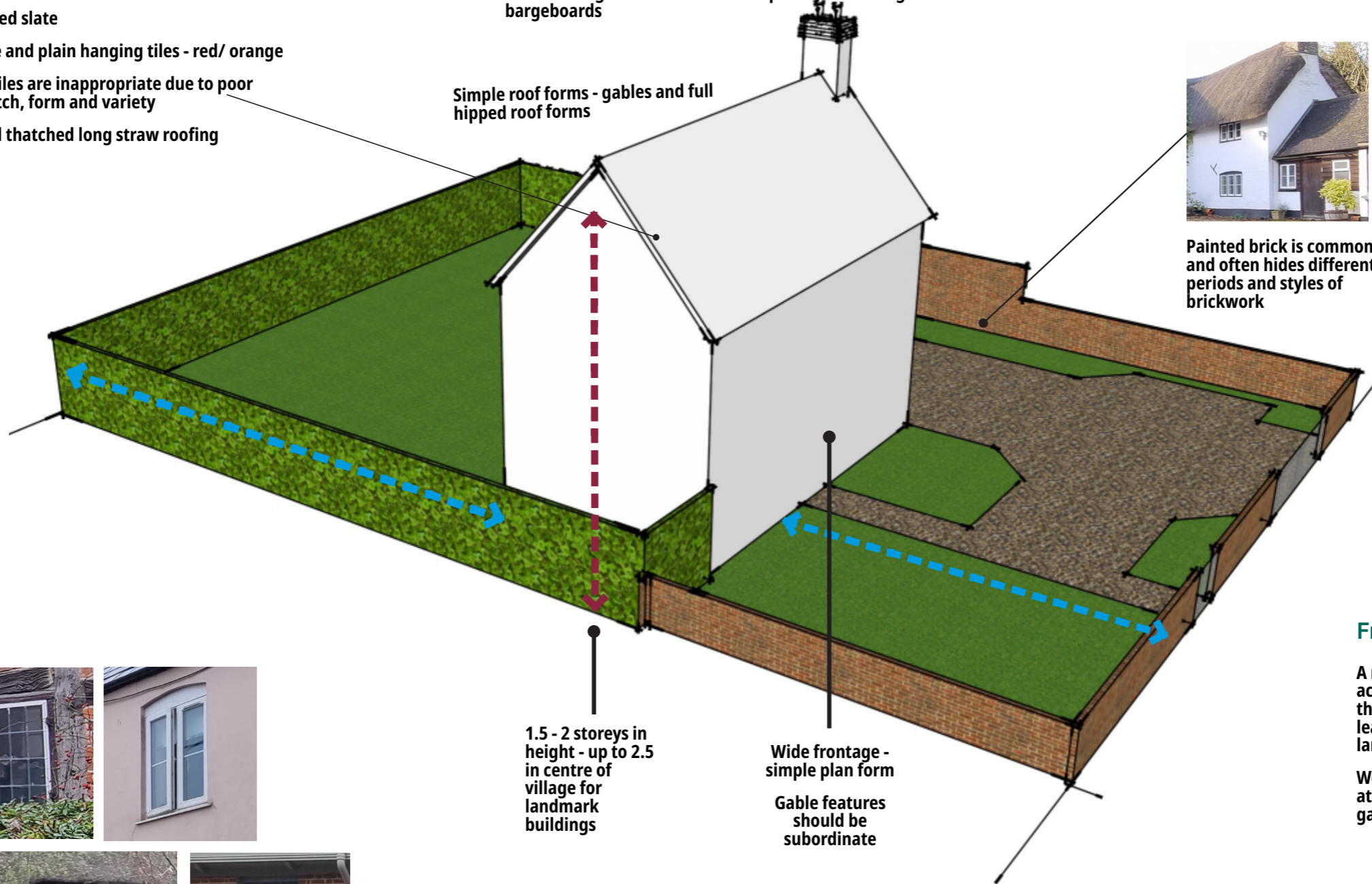


- Brick quoins with render
- Uncoursed local stone set in brick bands on a brick plinth
- Uncoursed local stone and brickwork repairs and additions over time



Gardens

- Rear gardens over 15 metres in depth
- Size of garden should relate to the property and provide suitable amenity space for occupants.
- Plot sizes should reflect those in the wider area



Painted brick is common and often hides different periods and styles of brickwork



A variety of brick bonds are found and often reflect the status of the building depending on complexity



Timber cladding with brick and flint plinth

Off street parking

- Not dominating the plot - in parking courtyards to be enclosed by walls or hedgerows.
- Gates to reflect the prevailing character
- Car barns or garage outbuildings to be separate and form boundary walls to reflect the agricultural nature of the area

Windows



Predominantly Cottage casement windows - with fewer sash windows and other feature windows including bow, bay and arched

Front gardens

- A mix of buildings fronting the street with side access and gardens. Or properties set well into their plots surrounded by walls and hedges, at least 5+ metres although many significantly larger.
- Well contained from roads and lanes, but visibility at eye level is not restricted at entrances and gateways



- Tall, mature hedgerows often surround cottages and
- Local stone walls are a common boundary - these can be capped stone uncoursed, or coursed and often contain by local brick quoins and string courses and plinths

CODE LAM.L07 - Windows, Porches and Doors

- a. Windows and doors should be designed as part of the overall design approach in new buildings, extensions or replacements. The proportions and designs should be carefully considered as shown adjacent.
- b. Where the Design Code is not followed, sufficient justification should be provided to demonstrate that there is a contextual basis for such decisions.

In older properties:

- a. Timber doors and windows - sash or casement should be used as appropriate .
- b. The lights should be well proportioned such that the top and bottom lights are of similar sizes, the window panes should be asymmetrical.
- c. The casement of door frames and windows should be painted timber (most commonly white) for softwood, or naturally stained for durable timber, or constructed of a material of similar quality.
- d. The positioning of windows within their reveals is important to add visual interest. See diagram opposite.
- e. Muntin and mullions should be slim profiled.
- f. Vertical brick lintels with segmental arches above the windows and door openings are encouraged.
- g. Contrasting buff brick quoins around doors and window frames are also supported.
- h. Bay windows are commonplace, but should not comprise a flat roof.
- i. Canopy porches should be pitched supported

- by a timber frame with an open or closed gable, flat roof canopies with white timber corbels are less preferable.
- j. Porches should not dominate the front or side elevation of a building due to scale, height or mass.
- k. Gates and Garage doors should be timber and stained / painted black, white or neutral colours.

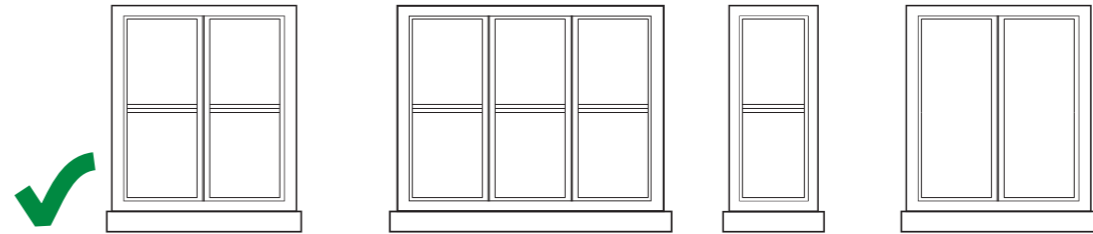
In modern and contemporary new buildings:

- a. High performance materials should be used.
- b. Where UPVC is used, this should be of a slim profile design.
- c. Large areas of glazing can also result in light pollution which national policy seeks to avoid. In sensitive landscape locations, the extensive use of glazing should not be used.

Roof Windows

- a. Dormer windows must not dominate the roofscape, they should be no wider than the width of the window. They should be pitched or hipped with a roof material matching the main roof.
- b. Flat roof dormers should not be utilised, but may be supported where they are part of a contemporary scheme and designed from the outset rather than a later addition.
- c. Where roof lights are installed, conservation or slimline roof lights should be considered.

Existing window design and proportions



Potential options for new / additional window designs. Below are options for increasing and decreasing the width, whilst maintaining proportions. The far right options are contemporary response

The designs and proportions of the windows below do not reflect that of the original style.

- A) Is a square design with a top hung opener rather than rectangular
- B) Is rectangular, but with a chunky frame as often found in poor quality uPVC designs.
- C) Is a large rectangular single pane of glass with no glazing bars, and

whilst this may work on a large scale in a contemporary building in a new extension for example, it is unlikely to be appropriate for simple replacement

There are a variety of window forms in the parish with the majority of residential windows of a cottage casement style with divisions in stone and timber.

Sash windows are found on commercial properties and on some of the more high profile

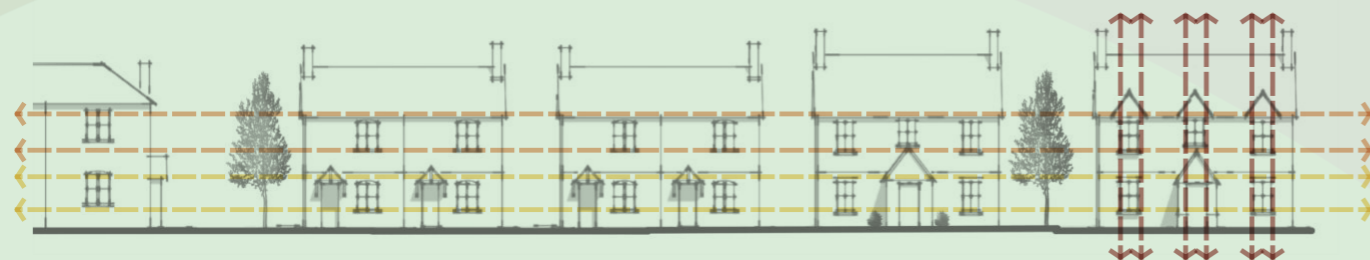
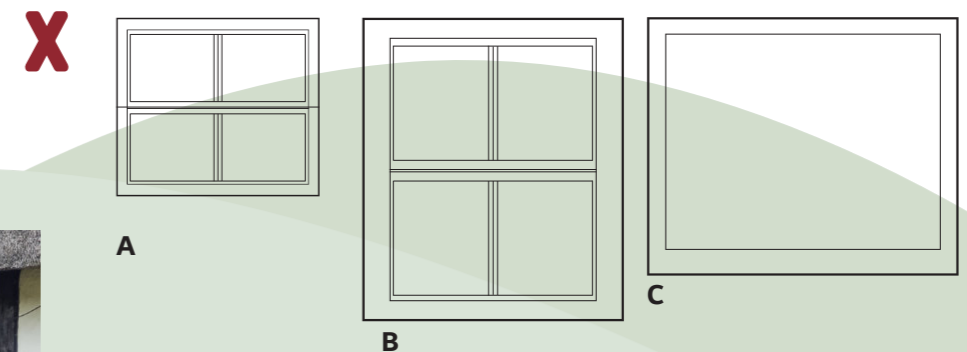


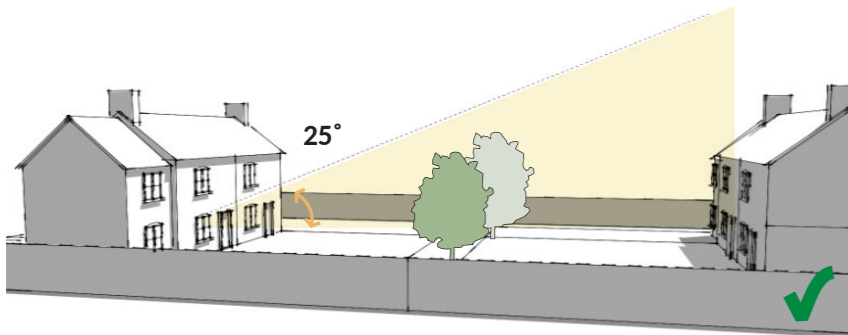
Illustration of vertical and horizontal rhythm in the street scene through the placement of windows, doors and porches and detailing such as brick string courses

Light & Aspect

Among other benefits, natural daylight is important to people's mental health and productivity levels, with an increase in people working from home, it is necessary to seek a design which maximises internal natural daylight.

Where proposing a new building which is taller than neighbouring properties, or a new development which could be overshadowed by existing tall buildings or trees, the design should be informed by a sunlight and daylight study.

The objective being, that it will demonstrate that a



Here, the centre of lowest window is open to the sky. The nearby trees, buildings and fences are sufficiently low enough to allow for an uninterrupted view allowing sufficient daylight. It is worth noting that tree growth in the future may need to be controlled to ensure adequate daylight is not blocked.

Achieving Adequate Daylight - The 25°

To achieve adequate internal daylight within a room, there should be no obstruction to sunlight at a 25° from the centre of the habitable room window at ground floor level.

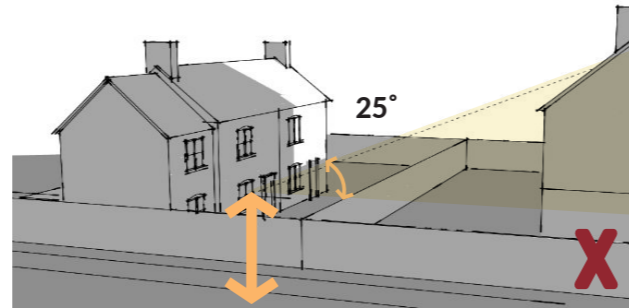
A typical street width in Lambourn from plot boundary to plot boundary is between 8m -13m depending on the route type.

Equally, existing trees may also cause the same level of overshadowing.

proposal will not overshadow neighbouring buildings and vice versa.

Maximising daylight begins with the orientation and form of buildings and avoiding obstructions to windows.

Designers should refer to the Building Research Establishment's (BRE) Report Site layout planning for daylight and sunlight: a guide to good practice (BR209), which advises on how to maximise good access to daylight and sunlight. It is a document that is widely used by local authorities during planning

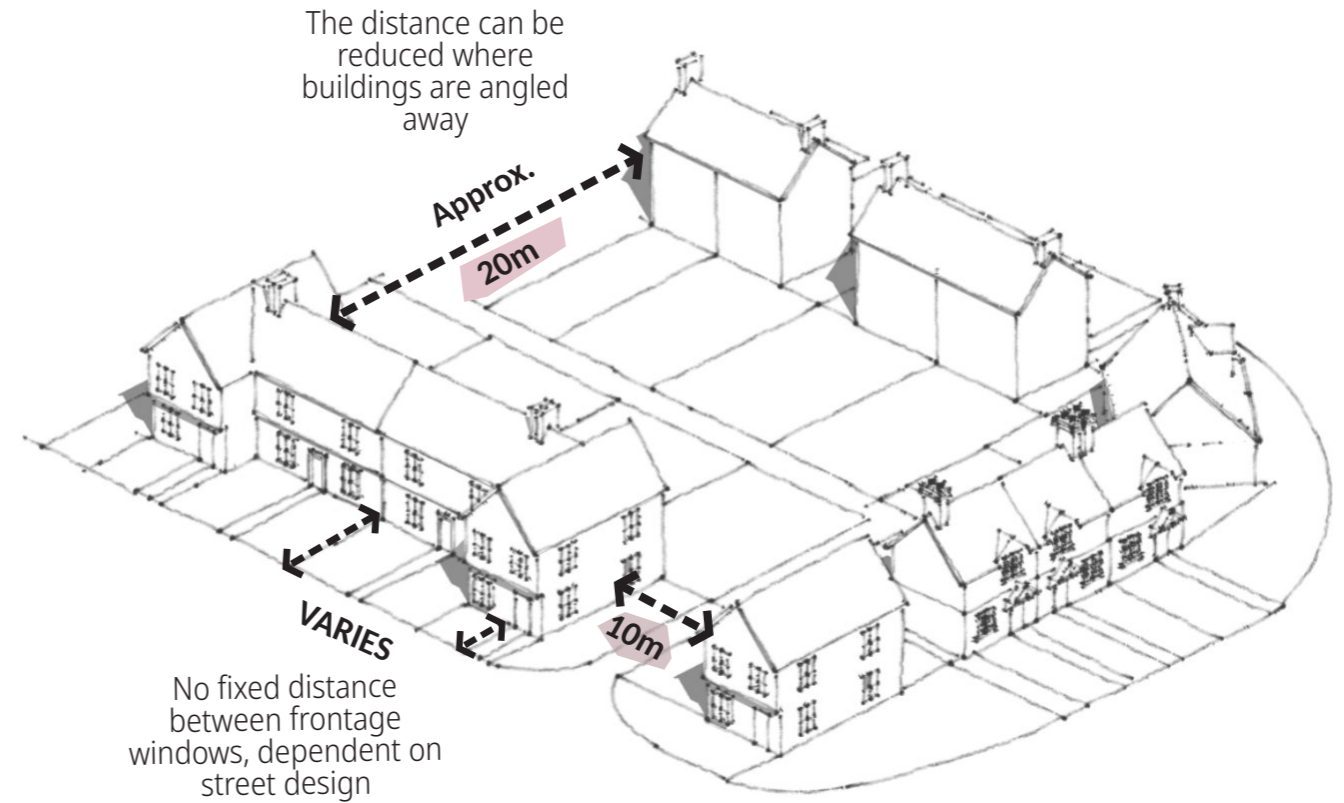


Here, the centre of lowest window is blocked by the building to the rear being too close. By re-siting the buildings, you would be able to get an uninterrupted view allowing sufficient daylight.

To achieve the 25° angle buildings may need to be set back in the plot and should consider the siting and scale of opposite buildings.

Where a proposed siting will result in adverse impacts such as loss of human-scale, rear amenity space and loss of light to neighbouring buildings, measures should be taken to increase internal daylight through other means.

This could be through dual aspect windows and shallow plan form buildings.



CODE LAM.L08 - Natural Light, Aspect & Privacy

Sunlight and Daylight / Solar Gain

- a. When designing new housing and other buildings which are occupied throughout the day, consideration must be given to fenestration design and siting with regard to:
 - Passive solar gain.
 - Providing adequate levels of natural light and sunlight in winter and summer.
 - Prevention of overheating.
 - Effective ventilation.
 - Minimising noise impact.
- b. Single aspect apartments should not face due north, as this will be the sole source of sunlight.

Privacy

- a. The privacy of occupants in dwellings should be maintained in relation to the overlooking of amenity space and into the property.
- b. It is expected that a direct back to back distance between habitable room windows, should be at least 20m to accord with garden standards. This can be reduced where windows are angled away from direct view.
- c. Side to rear distances should be at least 10m.
- d. Where roof windows are proposed, which may overlook garden areas, these should be placed above 1.7m in height.
- e. Other windows in rear and side elevations which may cause overlooking should potentially be obscure glazed or non-opening as appropriate.

Rear Gardens

All dwellings require access to a suitable private amenity space. For houses, a garden must be provided.

Garden spaces should be usable - sunlight should not be blocked by buildings, walls or fences ideally on a quarter of the garden, this should certainly be no more than two fifths.

Mature trees within or overhanging a garden can also cause problems, with regard to shading, roots protruding from the ground, branches and leaf drop etc. This should be factored in to the 'usable' garden area.

It is usual for a minimum of 100m² rear garden for 3 + bedroom dwellings. This will accommodate storage (in the form of a shed) and space for refuse and recycling, as well as allow sufficient space to undertake general household activities whilst still receiving sunlight.

When allocating new housing garden space designers should consider future extensions and loss of garden which may occur. It is recommended that permitted development rights will be withdrawn from dwellings with gardens less than 50m².

The garden should be deep enough to allow privacy and an appropriate level of usable space.

The rear garden depth should be no less than 10m.

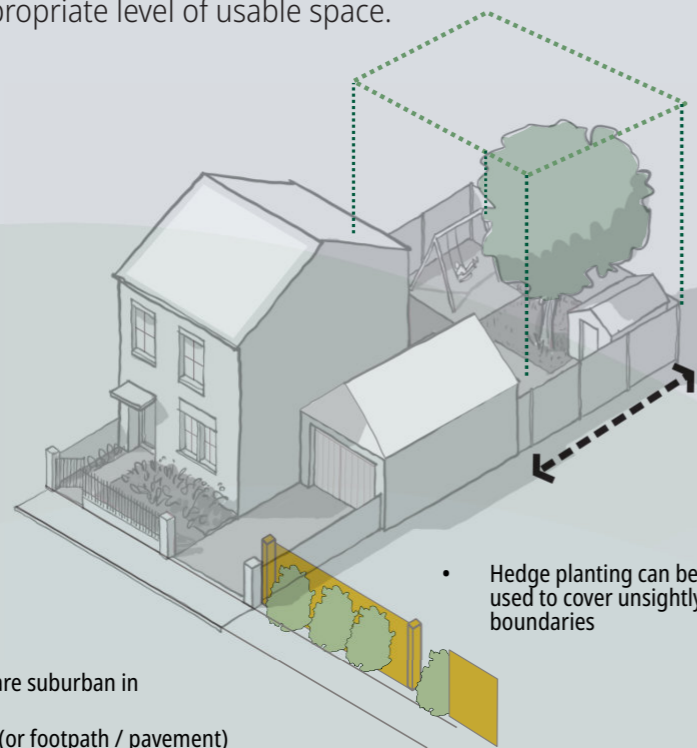
Front Gardens

Front gardens may vary in size in accordance with the street design. They should provide security and a degree of privacy for the dwelling.

The street scene should not be dominated by cycle parking, car parking or refuse and recycling storage.

Planting in the front gardens should not obstruct windows and restrict natural light or reduce natural surveillance.

All dwellings should provide an area for planting to the front of the property, irrespective of the set back to allow residence a sense of ownership over their space and include provisions for soft landscaping.



- Walls, picket fences and hedges are preferred.
- Hedgerows should not be removed

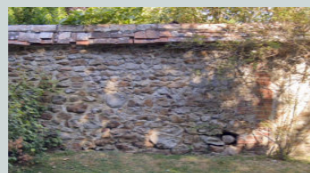
- Close board and panel fences are suburban in appearance.
- Any fence next to the highway (or footpath / pavement) must not be over 1m in height (unless a replacing an existing fence of the same height).

• Hedge planting can be used to cover unsightly boundaries

- At least 100m³ for a 3+ bed, 4+ person house - sufficient to accommodate a seating area, space for children to play, a shed for storage and space to dry laundry.
- This can be reduced depending on the number of bedrooms and intended occupants
- Please see the relevant technical housing standards for the size of dwelling and number of intended occupants.
<https://www.gov.uk/government/publications/technical-housing-standards-nationally-described-space-standard>

• Panel and close board fences should not be visible from the street or public spaces

• Rear gardens usually at least 10m deep



CODE LAM.L09 - Private and Communal Amenity Space

Rear Gardens

- All houses **should** have access to a private garden space. With the depth not less than 10m.
- The garden **should** be of a size suitable for the intended number of occupants.
- The space **should** be usable and not overshadowed by buildings, structures or trees for the majority of the area.
- A minimum rear garden area of 100m² **should** be provided for 3 + bedroom dwellings.
- Where not already included within a garage or other purpose built structure, a lockable shed **should** be sited within the garden to store bicycles.
- Gardens **should not** be awkwardly shaped or difficult to access.
- Access **should not** be solely through a dwelling and a separate gated access way **should** be provided. Such an access **should** be able to accommodate a bicycle.
- Extensions to properties, **should not** result in an unusable or substandard sized garden space.

Front Gardens

- Front garden may vary in size in accordance with the street design. However all houses, **should** have at least a minimal personalisation strip, which could accommodate planters or pots etc, which separates the public realm from their property.
- Gardens **should not** be dominated by cycle parking, car parking or refuse and recycling storage. Ideally, car parking **should** be securely behind the building line, within carriage arches or in garages and car ports. If not possible, sufficient landscaping **should** be provided to screen adequately.
- Purposely designed cycle and refuse storage **should** be designed from the outset to be low key and in keeping with the street scene.
- Consideration **should** be given to the ultimate size of any planting, as this could impact upon natural daylight and the potential for natural surveillance of the street.

CODE LAM.L10 - Boundaries & Means of Enclosure

Property Boundaries

- Close board or panel fences **should not** be visible from the public realm and **should** be avoided.
- Where fences are used, these **should** preferably be post and rail or post and wire including stock netting, or a picket fence with a native species hedgerow behind and a traditional timber five bar gate.
- Where side & rear boundaries which abut public space and require secure fencing rather than a wall, this **should** be combined with a hedge to soften the appearance.

- The replacement of walls and hedges with alternative fencing is not supported.
- Native hedgerows and trees **should not** be replaced by ornamental planting.
- Where there is sufficient space for a front garden, this **should** be enclosed by an appropriate boundary treatment.
- Front boundary treatments **should not** obscure the vision from any driveway or cause road safety issues. Fences adjacent to the highway or any footpath

CODE LAM.L11 - Infill and Redevelopment

- Any redevelopment site should:**
- a. **Not be more visually obtrusive than the development it replaces, when located in the countryside;**
 - b. **Be of a high standard and appropriate to the character of the area;**
 - c. **Be based on a contextual analysis of the site and wider context and incorporate or complement other existing buildings or features in the locality;**
 - d. **Respect the existing linear nature of development and not lead to extensive backland development, where out of character;**
 - e. **Be appropriate and sympathetic in scale, design, materials, building and roof form to its wider surroundings;**
 - f. **Be sited and oriented with both the character and setting of adjoining buildings and spaces balanced with**
- g. **potential for passive solar gain;**
 - g. **Retain native trees and hedgerows as part of an overall landscape scheme;**
 - h. **Seek to improve the the locality, where appropriate;**
 - i. **Not dominate the neighbouring property or wider street scene;**
 - j. **Not result in a significant loss of private amenity space or important gaps between buildings;**
 - k. **Retain sufficient space for planting to soften boundary treatments;**
 - l. **Seek to achieve greater thermal efficiency and reduce use of natural resources in excess of Building Regulation requirements (where possible).**



Example of an original Victorian villa on a site replaced by new housing development. The frontage development has reflected the neighbouring property and retained the substantial landscaping along the street edge. The development includes new housing to the rear, which is out of keeping with the linear nature of development



Here an example of how a new executive, gated development to replace previous single bungalow set in large grounds.

Gated developments are not recommended as there is a lack of integration with the surrounding community.

The development uses good quality materials, but draws little on the local vernacular



A good example of sensitively designed housing in Lynch Lane. A mix of 1 bed apartments and predominantly 2 bed houses, with a small number of 3 bed houses. This traditional courtyard design set in landscaped grounds with enclosed parking courts is a good example of higher density development suitable for a rural village.



Lion Mews (adjacent to the former Red Lion Hotel) on Newbury Street is a good example of redevelopment utilising high quality materials and design detailing which reflect the local character of the area.

A positive example of development proposals incorporating sustainable construction methods is The Almshouses of John Isbury and Jacob Hardrett. Known as Lambourn Almshouses, architects have developed designs to provide four apartments on two floors within the Chapel building, and a further five on the site of the school rooms and caretaker's cottage.

The scheme has been sympathetically designed, respecting the Grade II listed Chapel. The development has excellent environmental and ecological credentials. These include:

- Maintaining much of the original chapel structure and providing significant thermal insulation to both the walls and roof structure.
- Integrated solar panels will be included which will cover over 40% of the roof areas, the system will include battery storage.
- Electric vehicle charging points.
- Sustainable surface water drainage system including on site storm water attenuators and all permeable ground surfaces.
- All units will include fibre broad band connections.
- Bricks, slates and roof tiles will be reused where appropriate.
- Demolition materials (bricks, stone etc.) will be crushed for use on site, other materials will be separated for recycling.
- Garden design and planting scheme is focused on increasing the biodiversity. Bat and bird boxes will be integrated into the development.

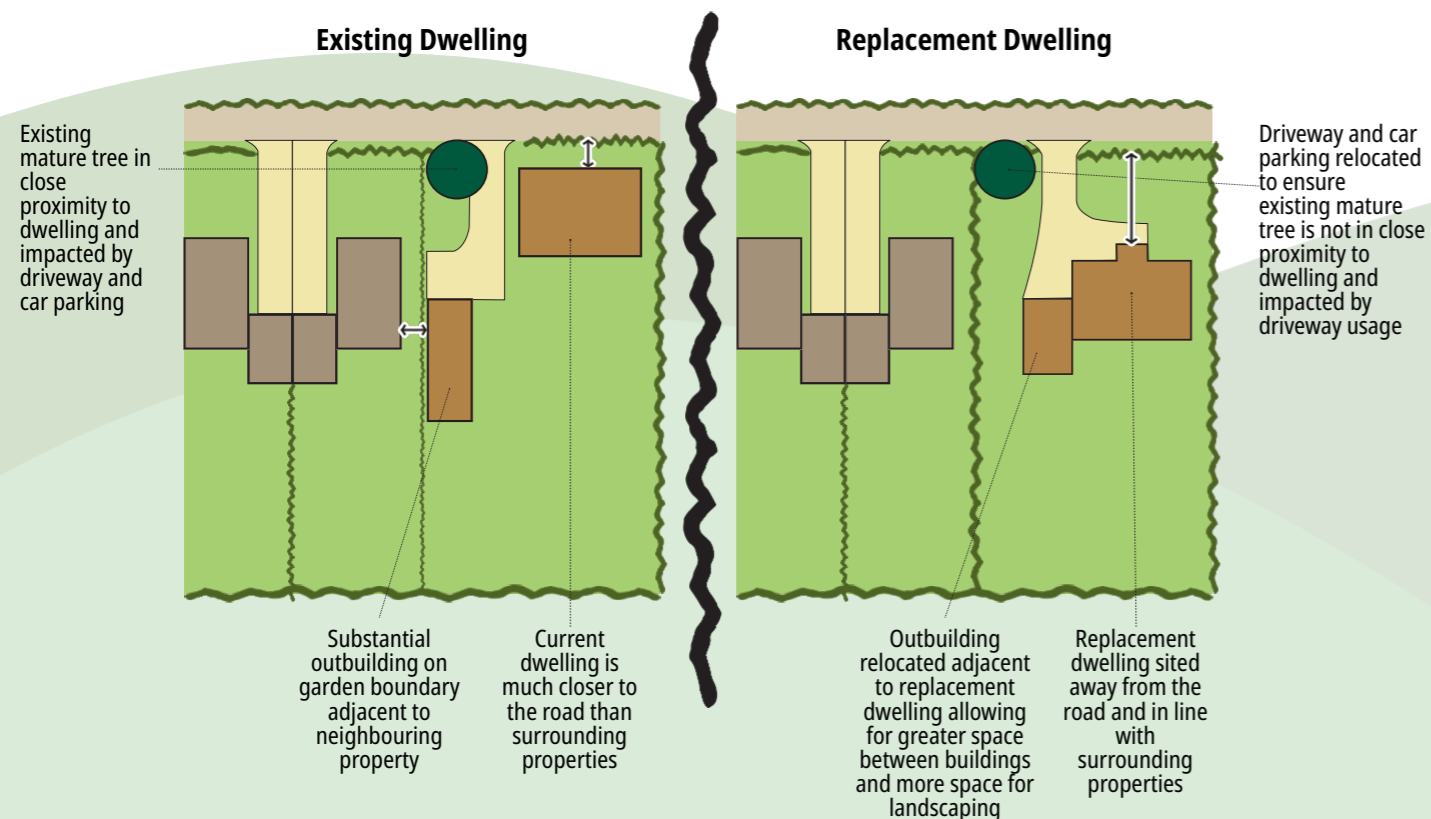


CODE LAM.H03 - Replacement Dwellings

Any replacement dwelling should:

- a. not be disproportionate in size to the dwelling being replaced (restrictions of size of replacements must follow the Neighbourhood Plan policy);
- b. be of a high standard and appropriate to the character of the area;
- c. be based on a contextual analysis of the site and wider context and incorporate or complement other existing buildings or features in the locality;
- d. be appropriate and sympathetic in scale, design, materials, building and roof form;
- e. be sited and oriented with both the character and setting of adjoining buildings and spaces balanced with potential for passive solar gain;
- f. be located on the site of the existing dwelling it is to replace. There may be some circumstances where it would be more a positive to relocate a building, such as environmental gain or road safety benefit, in which case,
 - g. relocation to an adjacent or nearby position within the established curtilage, would be supported;
 - h. retain native trees and hedgerows as part of an overall landscape scheme;
 - i. seek to improve the the locality, where appropriate;
 - j. not dominate the neighbouring property or wider street scene;
 - k. not result in a significant loss of private amenity space or important gaps between buildings;
 - l. retain sufficient space for planting to soften boundary treatments;
 - l. seek to achieve greater thermal efficiency and reduce use of natural resources in excess of Building Regulation requirements (where possible).

Example of how Re-siting a Replacement Dwelling can Result in Benefits



Natural Assets & Biodiversity

The National Design Guide states that “Nature contributes to the quality of a place, and to people’s quality of life, and it is a critical component of well designed places. Natural features are integrated into well designed development. They include natural and designed landscapes, high quality public open spaces, street trees, and other trees, grass, planting and water”

This can be achieved through:

N1 Providing a network of high quality, green open spaces with a variety of landscapes and activities, including play

N2 Improving and enhancing water management

N3 Supporting rich and varied biodiversity

Natural assets and biodiversity play a major role in place making and creating attractive environments people want to spend time in.

Many studies have suggested that people are drawn to nature through our ancestral need to be in a resource-rich environment, which has developed an innate tendency for people to seek out nature, particularly in busy and urban environments.

A connection to nature reduces stress, boosts morale and improves productivity, improving mental health. It also contributes to improving physical health through the provision of attractive spaces encouraging active movement.



The River Lambourn SAC running near Eastbury

Natural assets and increased biodiversity also offer ecosystem benefits which contribute to human well-being. These services among other benefits provide food, pollination, water treatment, local climate and air quality and recreational uses.

This section sets out the design parameters for conserving and enhancing the existing natural assets in Lambourn.

Well-designed places should integrate existing natural spaces, and incorporate new features into a wider multi-functional network. Consideration must be given not only to biodiversity, but also to water management, and address how good design can work with climate change mitigation and resilience.

We must prioritise nature in new development, so that diverse ecosystems can flourish to ensure a healthy natural environment that supports and enhances biodiversity.

Although there are a number of high quality open spaces at present in the Parish, these are largely centred on Lambourn village itself. The other settlements are lacking in particular in children’s play facilities.

The community would like to see additional attractive open spaces in locations that are easy to access, with activities for all to enjoy, such as play, food production, recreation and sport, so as to encourage physical activity and promote health, well-being and social inclusion.



Seven Barrows is a national nature reserve which is recognised for its archaeology as well as its wildlife including a variety of chalk grassland flowers and butterflies.

The Parish comprises a network of various green spaces, water bodies, biodiversity habitats and other natural elements.

Lambourn Parish contains many international, national and local designations including the River Lambourn, which is a Special Area of Conservation.

The wide variety of designated sites in Lambourn is an incredible resource, which needs to be maintained and enhanced in the future as appropriate. Specifically, wildlife corridors to link designated sites are essential.

New developments must avoid the loss of mature and veteran trees of good quality and other important vegetation, such as hedgerows, and must maintain local habitats and wildlife corridors.

Site design must seek to connect existing ecological zones and enhance biodiversity through the planting of local tree and plant species, the creation of habitats, and the incorporation of SuDS and rain gardens.



Bug hotels can be located within gardens but also on buildings

CODE LAM.N01 - Biodiversity

- a. Development schemes should seek to restore and increase the total area of natural habitats, and landscape features provided as appropriate to the scale proposed.
- b. Enhancements to biodiversity opportunity areas and corridors highlighted in the Neighbourhood Plan should be considered where relevant, as provide an excellent indication of where improvements are considered key.
- c. Proposals to enhance roadside verges including rewilding as highlighted overleaf to increase biodiversity and act as corridors of safe passage for wildlife would be supported.
- d. The provision of owl, bird, and bat boxes should be considered where appropriate.
- e. Bat friendly lighting should be installed to maintain foraging routes

West Berkshire Wild Verges Re-wilding

This is a project by Berkshire, Buckinghamshire and Oxfordshire Wildlife Trust which sought to protect & enhance West Berkshire's Rural Verge Network.

The main objective was

“to identify biodiverse rural verges in West Berkshire and advise the District Authority on how to manage them more sensitively. This was with a view to protect and enhance the corridors of safe passage for wildlife that rural verges often act as.”

The adjacent map highlights all of the identified verges in the Parish and their condition in terms of biodiversity.

A diverse range of plant and animal life is essential for a healthy ecosystem. Verges, though often overlooked, can significantly contribute to local biodiversity. By creating a mosaic of habitats, we can support a variety of species, from insects to birds.

Managing Verges for Wildlife:

To enhance biodiversity, careful management of verge cutting is crucial. Timing and frequency of cuts are key factors in determining the success of verge habitats.

Where road junctions or sightlines are obstructed, roadside verges on country lanes or rural road networks will require maintenance.

Woodland Verges: These areas benefit from a delayed spring cut to allow wildflowers, such as bluebells and primroses, to bloom and set seed, providing vital food sources for pollinators.

Grassland Verges: Reduced cutting during the growing season supports a diverse range of wildflowers. A hay cut in late June can help manage taller vegetation without harming beneficial species.

Restoring Depleted Verges:

Many verges suffer from low biodiversity due to factors such as nutrient enrichment. To restore these areas:

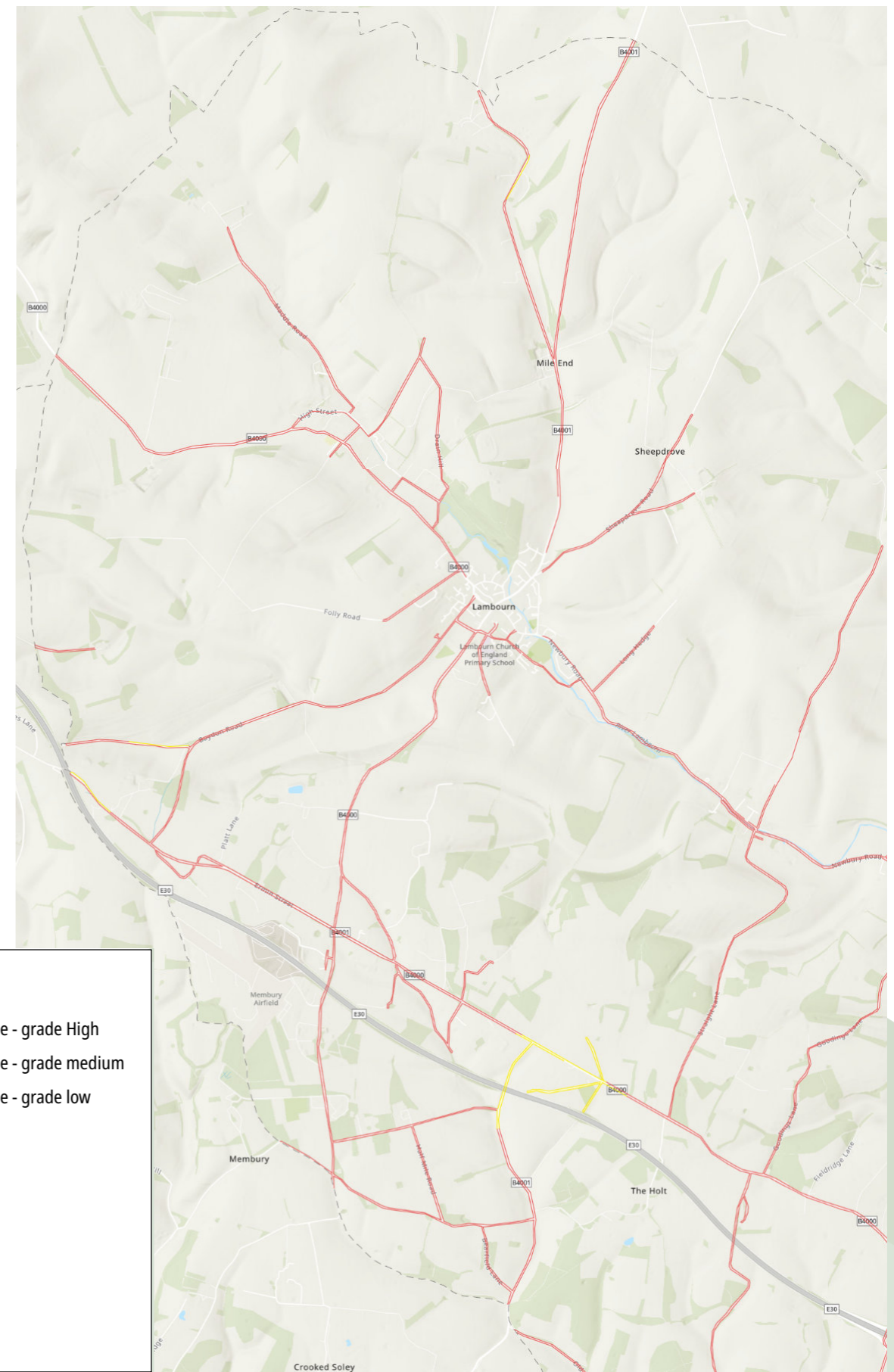
- **Reduce Soil Fertility:** By cutting and removing vegetation, soil fertility can be gradually reduced, allowing a wider range of plant species to flourish.
- **Targeted Management:** Implementing a regular cutting regime, such as one cut in late

June and another in September, can help maintain lower fertility levels.

- **Minimise Nutrient Inputs:** Protecting verges from nutrient runoff and air pollution can help preserve their ecological value.

Creating Meadow-like Conditions:

The ultimate goal is to create species-rich grassland verges resembling traditional English meadows. These habitats support a wide range of wildlife and contribute significantly to the local ecosystem. By adopting appropriate management practices, we can help reverse the decline of these valuable habitats and enhance the natural beauty of our surroundings.



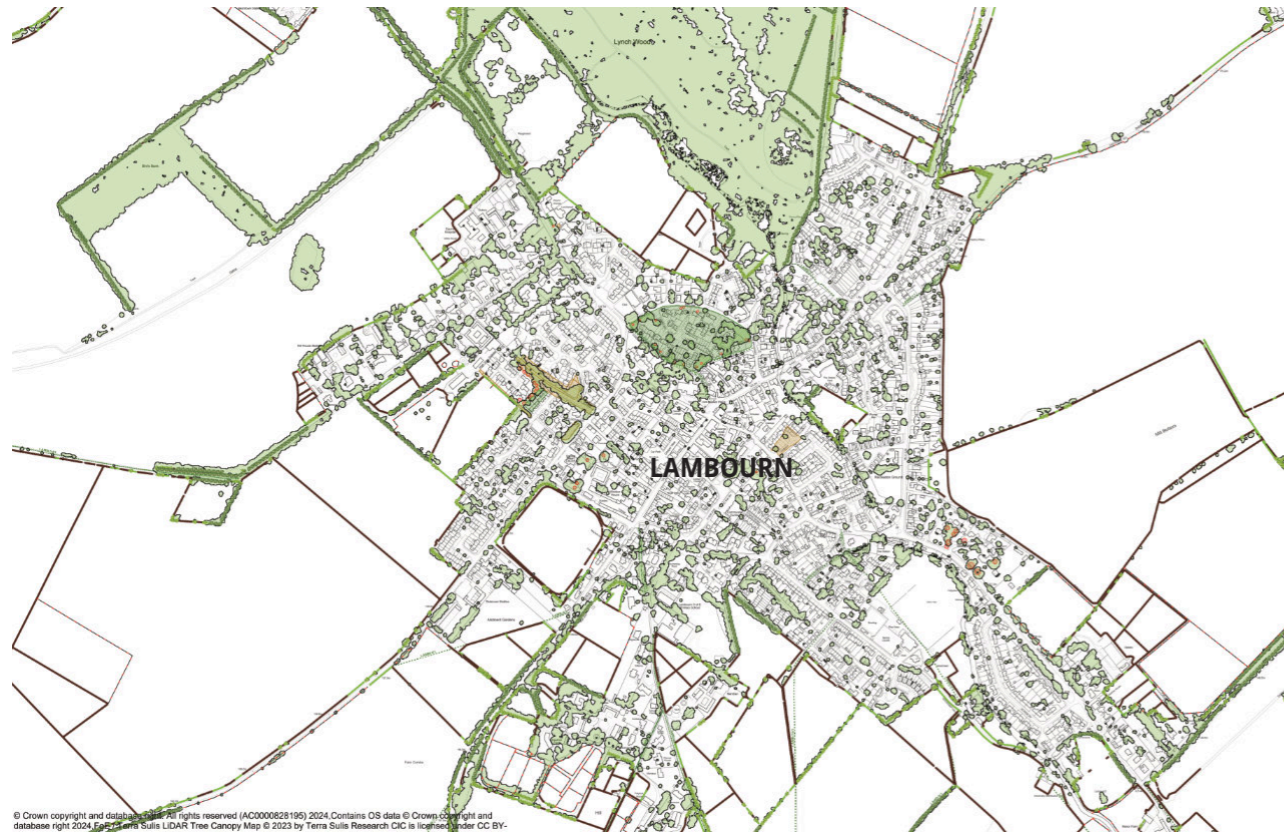
Verge Key

- █ Verge - grade High
- █ Verge - grade medium
- █ Verge - grade low

West Berkshire Rural Verge Network Map. It shows each verge's rating: green being High Grade, yellow Medium Grade, and red Low Grade. See <https://storymaps.arcgis.com/stories/c5629570fcfe428b8033e899fec0dff2>

Important Trees and Hedgerows within the Parish

LAMBOURN



UPPER LAMBOURN



- Group Tree Preservation Order
- Individual Tree Preservation Order
- Important tree cover
- Important Hedgerows
- Agricultural fencing

EASTBURY



MEMBURY & WOODLANDS



Trees and Hedgerows

Lambourn is set in mature landscaping and has made the most of its natural environment setting.

Trees have an important role to play in the natural and man made environment. They provide shelter and contribute to reducing carbon emissions and cleaning the air.

The ecological benefits and connections should be maximised. Tree planting and maintenance of existing trees can increase biodiversity. Consideration should also be given to planting the correct trees in right location, to ensure that any placement does not result in a loss of biodiversity units

Specific tree species can be used as a landmarks and increasing planting density can guide a user, and act as a signpost to a location. For example avenues of trees leading to a destination, such as towards green spaces or as a focal feature for the purposes of legibility.

Trees can play a role in screening and noise reduction and should be utilised to reduce noise or visual impacts where necessary.



CODE LAM.N02 - Trees

Applicants must demonstrate how they have complied with the tree guidance as set out below, (as appropriate to the proposal and location).

When choosing a species, designers must consider the following:

- **Use potential** - park, paved area, compatible with drainage, garden size, compatible with road type
- **Mature size** - small <10m up to extra large >25m - As well as height, think about root protection areas and to avoid issues with utilities and services
- **Crown form** - the shape of the crown can be aesthetic but also determine planting distances and the effect of the canopy on the space below, would the planting overcrowd the street scene, would it create unacceptable shade?
- **Crown Density** - as above, look at whether a dense canopy provides the level of enclosure required or whether a light, open crown would be preferable

- **Natural habitat & Environmental tolerance** - choose the right tree for the location, given the soil type, levels of sunlight, water and potential for drought etc.
- **Aesthetic and Ornamental Qualities** - Does the tree flower or fruit in a way which does not cause a nuisance? Does the tree introduce a valuable aesthetic to the area? Does the seasonal variation add further interest?

A diverse mix of species should be sought to reduce the risk of passing on inter-species diseases.

New development must be designed around existing trees including (but not limited to) those identified overleaf, wherever possible. Where it is unavoidable that trees are lost, they should be replaced at a rate of 2:1 and by native species.

CODE LAM.N02 - Hedgerows

- Existing hedges including (but not limited to) those identified overleaf, particularly where of native species should be maintained and enhanced wherever possible.**
- Minor and major development sites which abut the open countryside and rural lanes must incorporate native hedgerows and vegetation.**
- Native boundary treatments should be used to help transition from the built to the natural environment and to act as a wildlife corridor.**
- Dwellings which abut the open countryside and green spaces should incorporate native hedgerows and native vegetation as a boundary treatments to help transition from the built to the natural environment and to act as a wildlife corridor.**
- New planting of conifers, laurel and rhododendron should not be planted as a hedgerow treatment. These are not native and can out compete native plants.**
- Appropriate species include Hawthorn, Blackthorn, Field Maple (neutral soils), Hazel, Holly, Guelder Rose (neutral soils), Hornbeam (damp soils), Beech, Wild Service tree, Field rose, Dogwood (damp soils), Dog Rose and Spindle (neutral soils).**



Native hedgerows make a significant contribution to the character of Lambourn. The retention of a good degree of hedgerows in the character areas makes for a verdant feel in a medium to high density area.

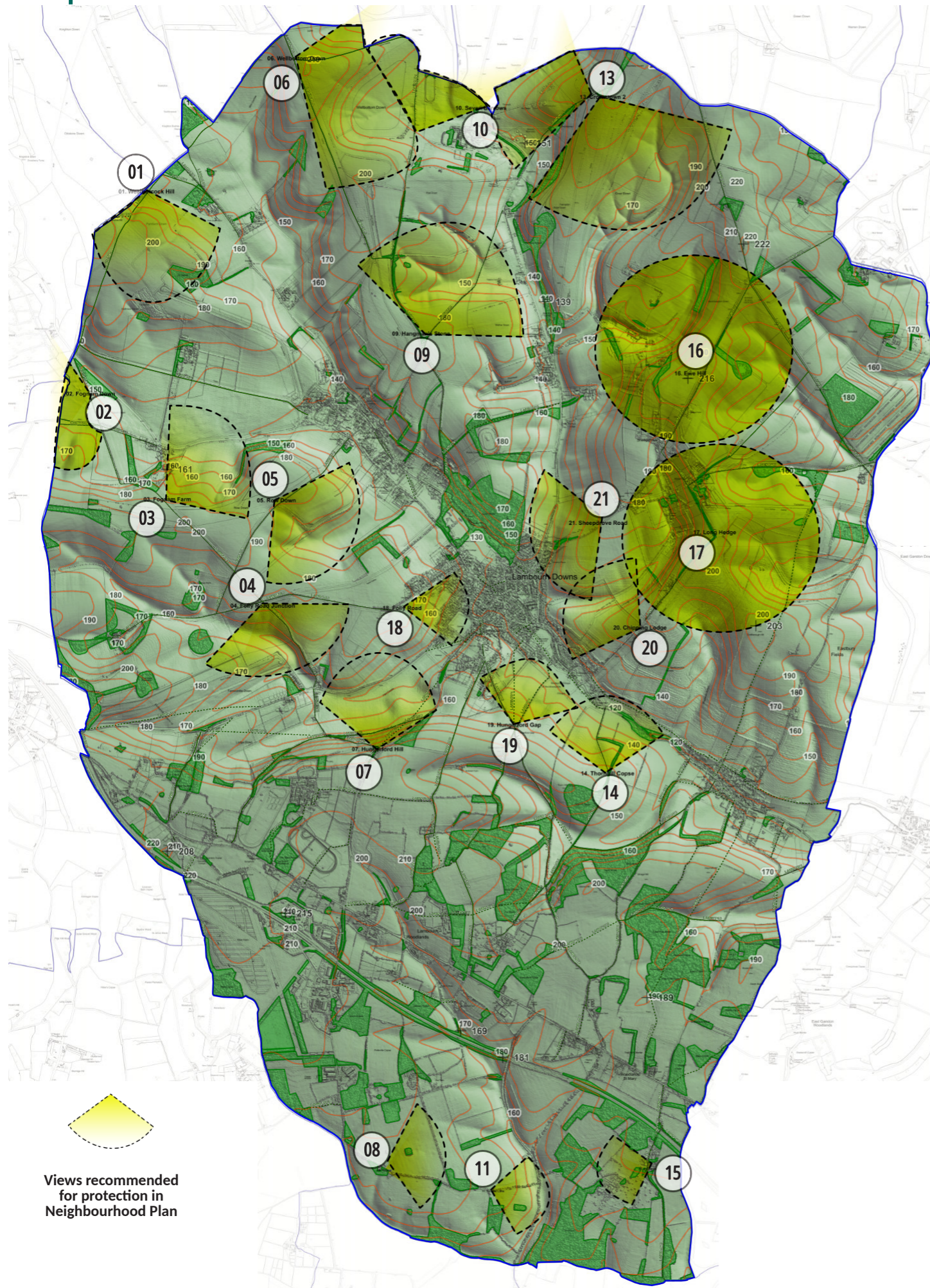
Native hedgerows are commonly used around Lambourn to define property boundaries and more so along road frontages. This should be continued in any new development to maintain the level of vegetation that contributes to the character of the parish and help create habitats for small species. Non-native and ornamental planting should be avoided.

High levels of vegetation should be incorporated into new development and especially in areas which are already highly vegetated.

List of Native Trees & Hedgerows

- | | |
|--|--|
| • Acer campestre - Field Maple - (Me) (D) (CH, C, L, S) | (La) (D) (C, L, S) |
| • Alnus glutinosa - Alder - (Me) (D) (C, L, S) | • Quercus robur - English Oak - (La) (D) (CH, C, L, S) |
| • Betula pendula - Silver Birch - (La) (D) (C, L, S) | • Salix caprea - Goat Willow - (Sm) (D) (C, L, S) |
| • Betula pubescens - Downy or White birch - (Me) (D) (C,L,S) | • Salix pentandra - Bay Willow - (Sm) (D) (C, L, S) |
| • Carpinus betulus - Hornbeam - (La) (D) (CH, L, S) | • Sorbus aria - Whitebeam - (Me) (D) (CH, C, L, S) |
| • Corylus avellana - Hazel - (Sm) (D) (CH, L, S) | • Sorbus aucuparia - Rowan - (Sm) (D) (CH, L, S) |
| • Crataegus laevigata - Hawthorn (Midland) - (Sm) (D) (CH, L, S) | • Sorbus torminalis - Wild Service Tree - (Me) (D) (CH, C, L, S) |
| • Crataegus monogyna - Hawthorn (common) - (Sm) (D) (CH, C,L,S) | • Taxus baccata - English Yew - (Me) (C) (CH, C, L, S) |
| • Euonymus europaeus - Spindle - (Sm) (D) (CH, C, L, S) | • Tilia cordata - Lime, small-leaved - (La) (D) (C, L, S) |
| • Fagus sylvatica - Beech (common) - (La) (D) (CH, L, S) | • Tilia platyphyllos - Lime, large-leaved - (La) (D) (C, L, S) |
| • Fraxinus excelsior - common Ash - (Me) (D) (CH, L, S) | • Tilia x europaea - Lime, common - (La) (D) (C, L, S) |
| • Ilex aquifolium - Holly - (Sm) (D) (Loam, Sandy) | (La) - Large >25m |
| • Juniperus communis - Juniper (common) - (Sm) (C) (CH, L, S) | (Me) - Large >25m |
| • Malus sylvestris - Crab Apple - (Sm) (D) (CH, L, S) | (Sm) - small <10m |
| • Morus nigra - Black Mulberry - (Sm) (D) (CH, C, L, S) | (D) - Deciduous |
| • Pinus sylvestris - Scots Pine - (La) (D) (C, L, S) | (C) - Coniferous |
| • Populus alba - Poplar - (La) (D) (CH, C, L, S) | (CH- Chalk, C-Clay, L-Loam, S- Sandy) - Soil type |
| • Populus tremula - Aspen - (La) (D) (C, L, S) | |
| • Prunus avium - Sweet Cherry (Me) (D) (C, L, S) | |
| • Prunus padus - Bird Cherry (Me) (D) (CH, C, L, S) | |
| • Quercus Ilex - Holm Oak - | |

Important Views



Views recommended for protection in Neighbourhood Plan

Key Views are important to protect the existing character and retain a sense of place.

The following views have been identified from the Character Appraisal and are shown on the map adjacent.

Views can be long distance and open, enclosed, glimpsed, or directed through gaps or deliberate building placement and orientation.

In all circumstances, development should respect these views, which provide significant benefit to the character of the area.

Photographic analysis of the views is provided in Appendix A

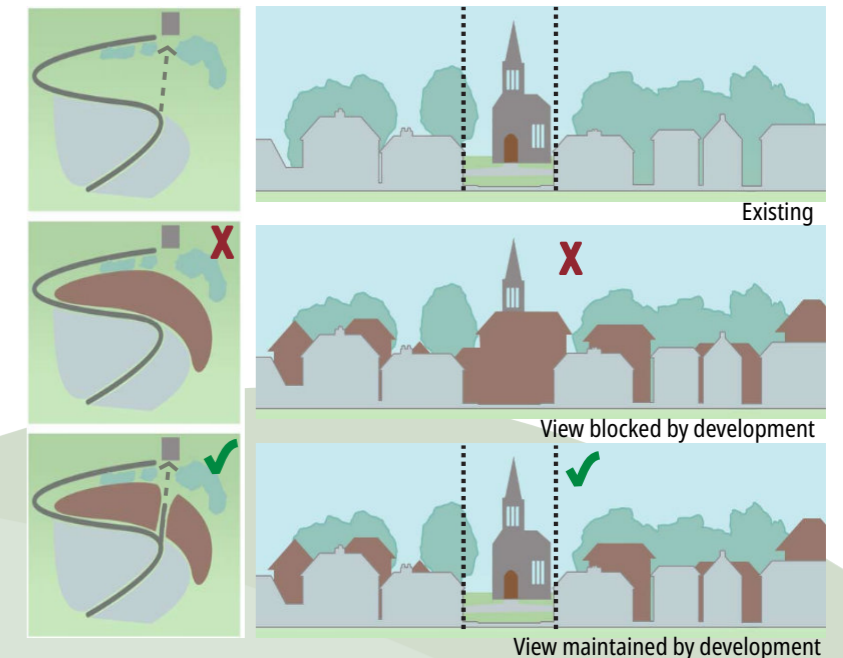
- 01. Weathercock Hill
- 02. Fognam Down
- 03. Fognam Farm
- 04. Folly Road Junction
- 05. Row Down
- 06. Wellbottom Down
- 07. Hungerford Hill
- 08. Ragnal
- 09. Hangman's Stone
- 10. Seven Barrows
- 11. Pickets Lane
- 12. Crow Down 1
- 13. Crow Down 2
- 14. Thornhill Copse
- 15. Inholmes
- 16. Ewe Hill
- 17. Long Hedge
- 18. Folly Road
- 19. Hungerford Gap
- 20. Chipping Lodge
- 21. Sheepdrove Road

CODE LAM.N03 - Views and Vistas

The key views are identified in the Neighbourhood Plan.

- a. Development should maintain the openness and key characteristics described in the Character Appraisal.
- b. New development should not obstruct long-distant views to the countryside beyond.
- c. The design and layout of major and minor development must be informed by the existing views where applicable.
- d. Where proportionate, a viewscape analysis relating to the impact of the proposed development should be undertaken.

Maintaining important views



View from Long Hedge (17) looking towards Lambourn village - highlighting the settlement set in mature trees and hedgerows, nestled in the valley bottom, surrounded by the rolling downland.

Public Open Space Provision

Green space, bridleways and safe horse crossings should have a purpose and be so designed for the intended use in terms of size, location and form.

Public green spaces must not be a result of “left over” space as a consequence of poor urban design.

Green space provision is fundamental to achieving healthy, well-designed and attractive places.

A person’s ability to access green space plays a pivotal role in their mental and physical well being

as such open space provision is necessary.

Such spaces should be integrated into residential areas and in close proximity to the range of community uses.

Play spaces are important to encourage social interaction in children and contribute to their developing social skills.

CODE LAM.N04 - Public Open Space

- a. Open space provision **must** meet an identified local need, to accommodate different users to offer choice, and appeal to a wider range of people.
- b. Provision **should** be made for spaces which have lower activity and noise levels to provide tranquil spaces, in addition to spaces with higher activity levels for increased social interaction.
- c. Public open spaces **should not** be considered in isolation, instead they should be thought of as a network of spaces integrated into green infrastructure and movement routes which function simultaneously and offer choice. Existing spaces **should** be integrated with new spaces or expanded where appropriate.
- d. Applicants **must** demonstrate that they have carefully considered the following when designing new public realm spaces:
 - The relationship of the new space to the surrounding streets, pavements, and buildings.
 - The way that the new space will be used by pedestrians, cyclists, and other users.
 - The need to create a safe and comfortable environment for all users.
 - The need to take into account the natural features of the surrounding environment, such as trees and vegetation.
- e. When laying out new spaces and developments, such proposals **must** include direct and desirable routes for pedestrian and other wheeled path users (pushchairs, prams, wheelchairs, mobility devices etc). These are known as desire lines. Pedestrian desire lines are the paths that people naturally take when walking, and wheeling desire lines are the paths that people naturally take when using wheelchairs or other mobility devices. By taking into account these desire lines, applicants can create spaces that are more efficient and accessible for everyone.
- f. The design of public green spaces **should** be easily accessible from homes and work places, functional and legible and appropriate for the diverse needs and interests of the community and for a range of abilities.
- g. Public open space **must** be safe and secure with buildings looking onto them to provide natural surveillance.
- h. Green space design **should** incorporate nature opportunities at a level proportionate to its size, whilst being functional for the proposed use.
- i. Within larger areas of green space, there **should** be areas which provide higher levels of enclosure and shelter, both naturally occurring and built. Any such area should be designed to contain seating areas, potential areas for picnic or lunch and areas to promote social interaction.
- j. Sheltered / covered areas **should** be designed to deter anti-social behaviour.
- k. Designs **must** be attractive and encourage people to stop and rest in the space rather than becoming an area to simply travel through.
- l. Areas of play and recreation **must** be inviting, inclusive, imaginative and stimulating for all ages. It must also be sensitively designed to complement and enhance the corresponding character area.
- m. Existing sports facilities **must not** be lost, unless replaced by a new facility of an equal standard or higher and in a sustainable location.
- n. Management and future maintenance costs **must** be considered and incorporated into the development proposals.



Routes and Accessibility

The National Design Guide states that

“A well designed and connected network gives people the maximum choice in how to make their journeys. This includes by rail, other public transport, walking, cycling and by car.”

This can be achieved through:

M1 Providing a connected network of routes for all modes of transport

M2 Promoting Active travel

M3 Creating well-considered parking, servicing and utilities infrastructure for all users

A movement network is a system of streets, paths, and other transport links that allow people and goods to move around an area.

There are many different types of movement networks, but they all share some common characteristics. They should be:

- Efficient: The network should allow people and goods to move around quickly and easily.
- Safe: The network should be safe for all users, including pedestrians, cyclists, and motorists.
- Inclusive: The network should be accessible to everyone, regardless of their age, ability, or means of transportation.
- Sustainable: The network should be designed to reduce car dependency and promote active travel.

Any new development should be well connected to the existing network of streets and routes and where possible enhance existing connections.

Routes to and from new developments must ensure that access to the gallops and safe horse-crossing points are preserved.

The movement network should enhance the mobility of non-vehicular journeys and prioritise pedestrians, cyclists (active travel), and horses where appropriate.

The street design should relate to its status in the hierarchy and function for the proposed uses. The street hierarchy is set out in the adjacent diagram.

The aim is to discourage the use of the car for local trips with a higher connectivity level for pedestrians and cyclists to reduce travel time.

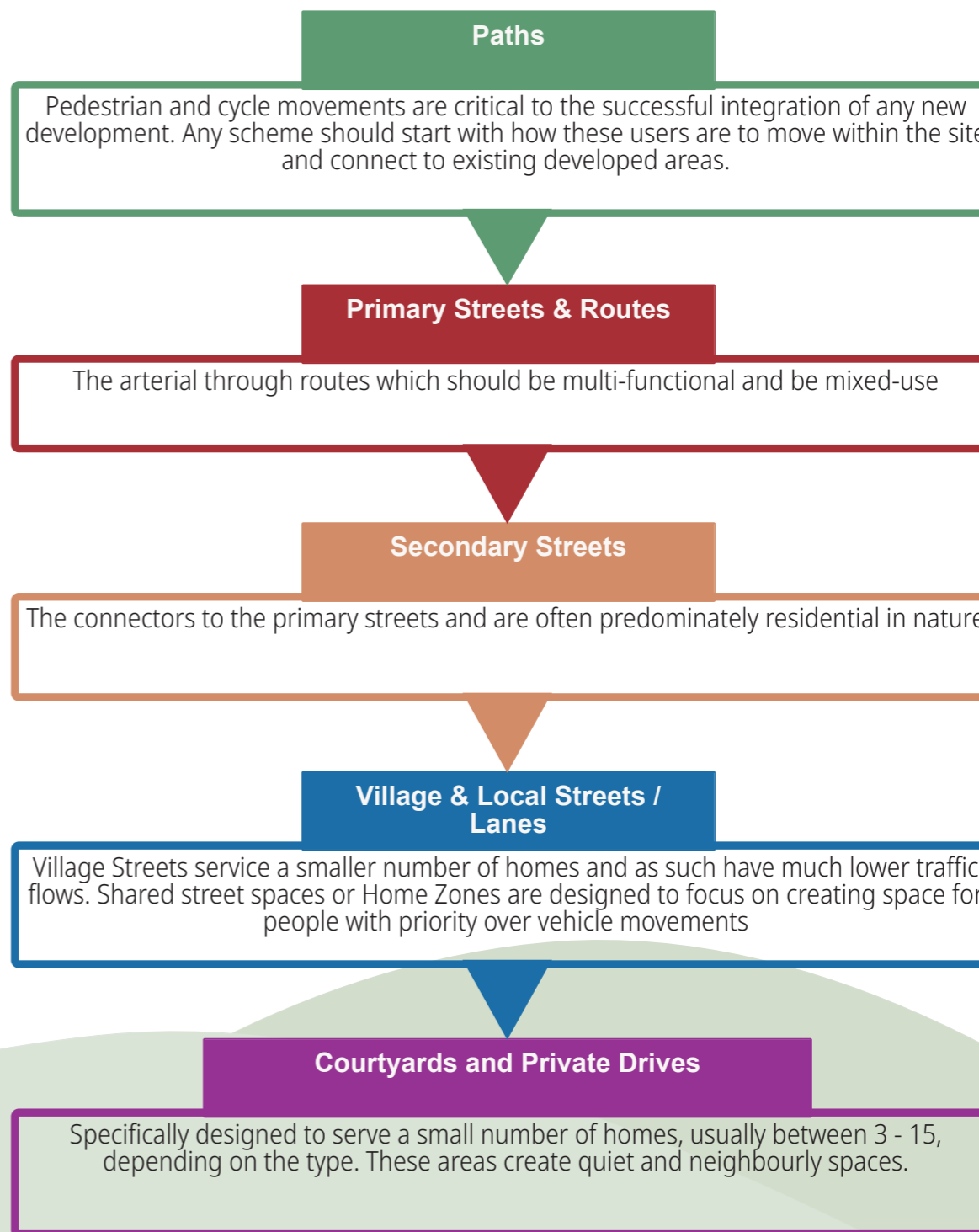
It is vital that the new streets are well connected to existing routes and are designed around the existing route hierarchy.

It is essential that the rural character of the area is maintained through the design of streets and that further suburban development does not erode the Parish.

The following Design Codes overleaf contain general guidance for new development and should be read alongside the Manual for Streets found at <https://www.gov.uk/government/publications/manual-for-streets>

In any new development, the larger primary and secondary roads are unlikely to be implemented in this location due to the environmental constraints in the Parish.

It is likely that new ‘Village Streets’ will be proposed along with ‘Courtyards and Private Drives’. The focus of the next section is primarily on these routes.



CODE LAM.M01 - Route Hierarchy

- a. **Developers must (as proportionate to the scheme proposed), provide a route hierarchy which maximises opportunities for pedestrians and cyclists. It should focus upon providing an attractive public realm, which draws influence from the landscape led setting of Lambourn.**
- b. **New roads and paths should be designed specifically to accommodate the type of traffic flow that is set out in the route hierarchy.**
- c. **Sites should be accessed via sensitively designed junctions as appropriate to the scale of the development and traffic volume.**
- d. **Developers must (as proportionate to the scheme proposed), provide a route hierarchy which maximises opportunities for pedestrians and cyclists. It should focus upon providing an attractive public realm, which draws influence from the landscape led setting of Lambourn.**
- e. **New roads and paths should be designed specifically to accommodate the type of traffic flow that is set out in the route hierarchy.**
- f. **Sites should be accessed via sensitively designed junctions as appropriate to the scale of the development and traffic volume.**

Village Streets

Village streets are also known as access roads, which give direct access to dwellings. They should accommodate two way traffic either with or without on-street parking.

With appropriate design, traffic speeds should be low without the need for engineered traffic calming measures such as humps, cushions and chicanes.

A cul de sac, is not preferable where the maximum number of dwellings exceeds 50 units.

A proposed route which has more than one access, may serve over 50 units. But both are to be designed as per the village street example.

Shared Streets and Home Zones

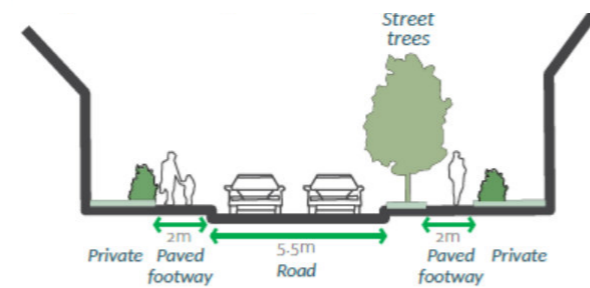
A shared street (larger than a small court or mews overleaf), but usually lower than 25 dwellings.

The aim of a home zone is to make the traffic speed equal to that of a pedestrian.

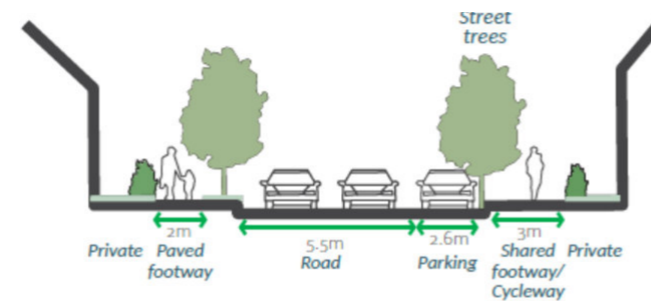
They should be focused around encouraging social interaction between neighbours and provision of pocket parks, meeting places and landscaping.

Measures must be taken to maintain pedestrian safety by reducing traffic speed, ensuring pedestrian visibility.

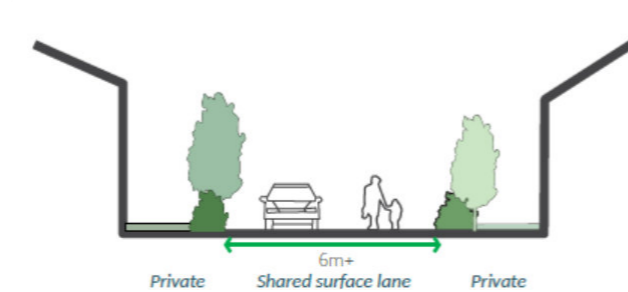
Village Streets - 20mph - no parking



Village Streets - 20mph - street parking



Shared Streets and Home Zones - 20mph



CODE LAM.M02 - Village Streets and Home Zones

- a. Village streets should be low speed, no more than 20mph zones.
- b. Traffic calming should be designed into the scheme from the outset through careful landscaping and building layout, not engineered measures.
- c. The street should be able to accommodate cyclists as well as vehicles, or a shared cycle path and footway can be included.
- d. Shared Surfaces and Home zones should be specifically designed to deter unnecessary motorised traffic by using features and measures which prioritise pedestrian use.
- e. All street types should include trees and appropriate planting where space is available.
- f. A shared surface street or home zone must be clearly identified with a 'gateway' feature

such as a change in surface pattern and raised table or a kerb extension. It must be surfaced in the same material, with the exception for areas which may be marked out for parking, play or seating. In which case this may be undertaken through a carefully chosen palette of materials, rather than road markings.

- g. It is important that public and private land must be clearly identifiable.

Please note that any tree planting may require a commuted sum for maintenance associated with street tree planting. These must be planted clear of visibility splays. Consultation with highways officers must take place to ensure that the right trees are planted in the right places.

Squares, Courtyards and Private Drives

Squares, courtyards, and private drives can contribute significantly to the character and amenity of a development. These spaces offer opportunities to create attractive and usable outdoor areas for residents and visitors.

Pedestrian Priority:

- Pedestrian safety and comfort should be paramount in the design of these spaces.
- Vehicles should be accommodated at very low speeds, and clear visual cues should indicate a change in priority from vehicles to pedestrians.

Space and Layout:

- The dimensions of these spaces should be carefully considered to ensure they are both functional and visually appealing.
- The distance from the main road to the end of the space should be limited to encourage pedestrian use and minimise noise pollution.
- Sufficient space for parking and turning should be provided without compromising the pedestrian environment.

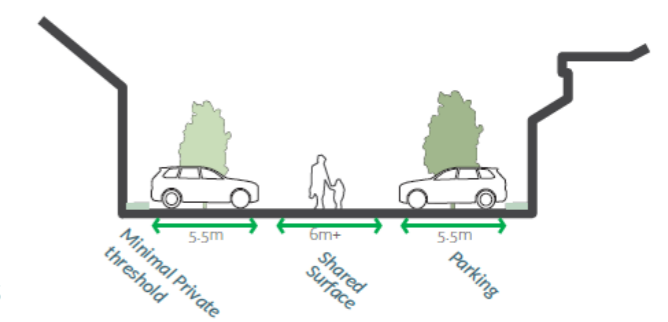
Creating a Sense of Community:

- These spaces should be designed to encourage social interaction and a sense of community. Incorporate landscaping, seating, and lighting to create inviting and welcoming spaces.
- Consider providing communal storage areas for refuse and recycling to reduce visual clutter.

Safety and Security:

- The design should prioritise safety and security.
- Natural surveillance can be achieved through careful planning of building placement and vegetation.
- Adequate lighting is essential for both security and the overall ambience of the space.

Squares, Courtyards and Private Drives

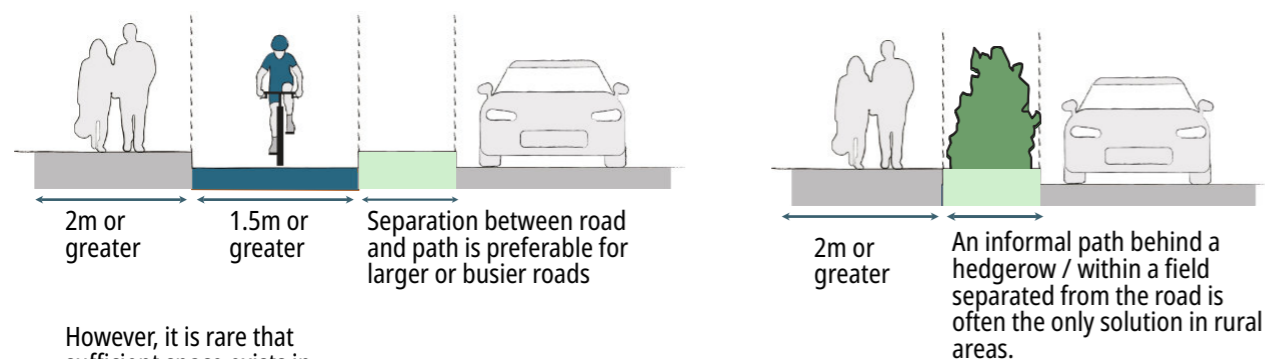


CODE LAM.M03 - Mews, Squares & Courtyards

- a. Mews, Squares and Courtyards are smaller and more intimate layouts, usually with pedestrian priority, where speeds must be 20mph or less.
- b. The distances between building frontages should be reduced.
- c. Dwellings often abut the street, with small personalisation strips or minimal front gardens space.
- d. Vehicle parking is generally perpendicular to the carriageway through the square or court, there must be a minimum of 6m between opposite parking bays to allow for safe manoeuvring.
- e. Windows or doors must not open directly onto any parking bay. A small threshold, allows for a buffer in this instance.
- f. The size of any entrance to a court or square must be in accordance with the West Berkshire Council requirements
- g. Appropriate tree and shrub planting should be utilised to soften the appearance and reduce the size of any larger scale parking courts.
- h. It must be surfaced in the same material, with the exception for areas which may be marked out for parking, play or seating. In which case this may be undertaken through a carefully chosen palette of materials, rather than road markings.
- i. It is important that public and private land must be clearly identifiable.
- j. Please note that any tree planting may require a commuted sum for maintenance associated with street tree planting
- k. Trees must be planted clear of visibility splays. Consultation with highways officers must take place to ensure that the right trees are planted in the right places.

Promoting Non-Motorised Modes of Transport

Dimensions for footpaths and cycle paths



However, it is rare that sufficient space exists in rural areas and a combined path is generally more appropriate

Such paths should not be constructed in tarmac or other more urban material.

CODE LAM.M04 - Promoting Non-Motorised Modes of Transport

- a. **Developers must submit sufficient information (proportionate to the scale of the proposal), to demonstrate how the scheme is compliant with the walking and cycling guidance as set out below and as befits the site and its circumstances.**
 - b. **Schemes should also consider existing equestrian activity, including the movement of horses.**
 - c. **To encourage walking and cycling in Lambourn, the following should be considered:**
 - Pedestrian and cycle routes must be well connected with existing paths, and directed towards both existing and other newly created community facilities;
 - The route hierarchy must prioritise the pedestrian over vehicles, while also recognising equestrian activity as a key rural user group.
 - Paths which are attractive and safe with street lighting and benefit from natural surveillance.
 - Shared cycle and footpaths are preferred rather than individual footpaths. Such paths should be 3 metres in width.
- Well designed junctions and crossings are essential to achieving a safe movement network for people and vehicles.
 - All junctions must maintain good visibility - splays must be kept clear from obstructions such as street trees, furniture and parked cars.
 - Crossings should be placed in regular intervals in convenient places which follow pedestrian desire lines.
 - Traffic calming measures should be designed in at crossings, for example reducing the road width or introducing raised platforms.
 - Consideration should be given to the most appropriate type of crossing depending on the road hierarchy and traffic volume.
 - Footpaths without cycle routes, should be at least 2m and more depending on the type and level of activity.

Cycling and Parking

Cycle parking provision is essential to encourage people to cycle and increase their activity level whilst reducing carbon emissions.

To do so, appropriate infrastructure must be designed into the fabric of the development and this starts with cycle parking provision in key destinations.

In rural areas such as Lambourn, the movement of horses—including racehorses—is an important part of everyday travel patterns, and walking and cycling routes should be designed to coexist safely with established equestrian activity.

Secure covered cycle parking should be provided with all new residential developments within the domestic curtilage. Provision may be made within a designated cycle parking shed or integrated into the car port or by other appropriate

means. The use of planting can help mitigate any visual impact which distracts from the overall character. Enough space should be designated with regard to the number of bedrooms and likely number of occupiers.

Cycle provision should also be located near community facilities and services, leisure spaces and places of employment. Cycle parking in the public realm should not impede other activities and be in a designated area which benefits from natural surveillance.

Cycle parking must allow for the dimensions of the 'cycle design vehicle' and the extent of provision should also take account of Chapter 11 in the Government's LTN 1/20 Cycle Infrastructure Design guidance.



Public Cycle Parking - located on edge of public open space



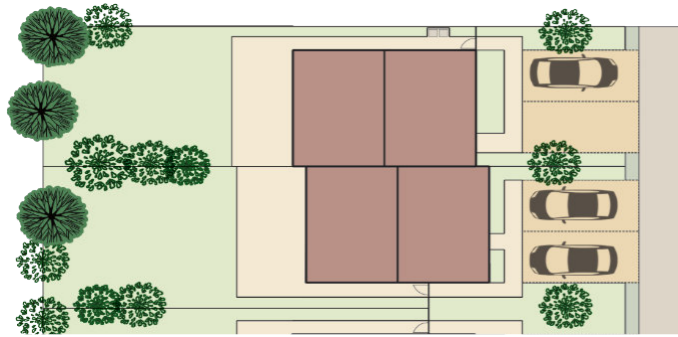
Private On-plot Cycle Parking either to the side or rear of the dwelling - behind the building line

CODE LAM.M05 - Parking - Cycles

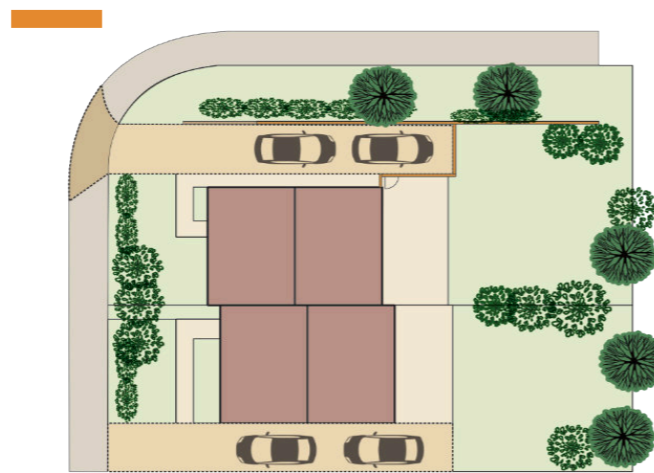
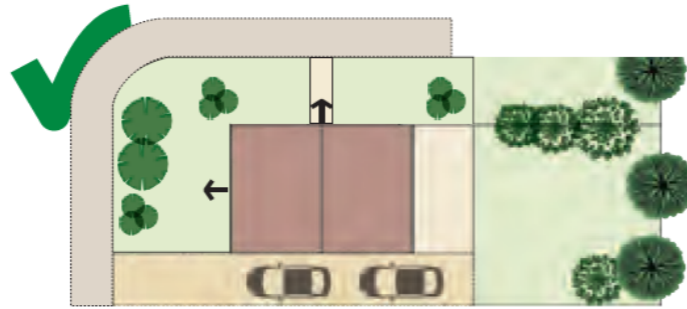
- a. **Cycle storage facilities must be secure, under cover, clearly identifiable, and accessible to people of all ages and a range of abilities.**
- b. **Dwellings should have their own cycle parking - where possible, a garage should be designed to include secure cycle storage.**
- c. **Secure, enclosed cycle parking must be provided for all dwellings without a garage, such as a shed to the side or rear garden. If appropriately designed, front garden storage may also be acceptable, but should be low level and not dominate the street scene.**
- d. **The cycle parking must be accessible without wheeling a bicycle through the dwelling.**
- e. **Cycle storage facilities may be located in a variety of places to connect into the public transport network.**
- f. **They should also be sited so as to be near ground-floor entrances to buildings.**
- g. **In apartment blocks, cycle storage facilities should be positioned close to the ground-floor entrances and sufficient cycle parking should be available for all residents.**
- h. **Communal cycle storage facilities should be well-lit, especially at night, and designed in such a way that they discourage vandalism and theft.**
- i. **Where cycle facilities are being planned adjacent to community facilities or cafes, consideration should be given to opportunities for bike repair hubs, bike share or other facilities to make cycling more attractive.**
- j. **A proportion of the cycle parking (typically 5%) should be provided for non-standard cycles to accommodate people with mobility impairments and cargo bikes.**
- k. **For cycling parking requirements, please see the Local Plan.**

Vehicle Parking

X



On-plot parking to the front of a property can often dominate the street scene. Ideally the drive should accommodate all vehicles behind the building line. Alternatively, front gardens should be at least 2m deep in front of the parking to improve the setting.



Ideally, a corner plot should be dual aspect. Where this is not possible, parking should be contained behind walls and vegetation rather than be visible.

Sufficient visibility however must be maintained. Any planting, fence or wall must be set back from the highway and lower than 600mm to ensure good visibility.

Such heights may be increased further back into the plot beyond 2.4m from the edge of the carriageway.



Here, parking is shown behind the building line. Carriageway arches could be used to provide shelter to parked vehicles underneath.

To deter pavement parking - consider tree planting, street furniture or other planting within the verge or extended paved areas

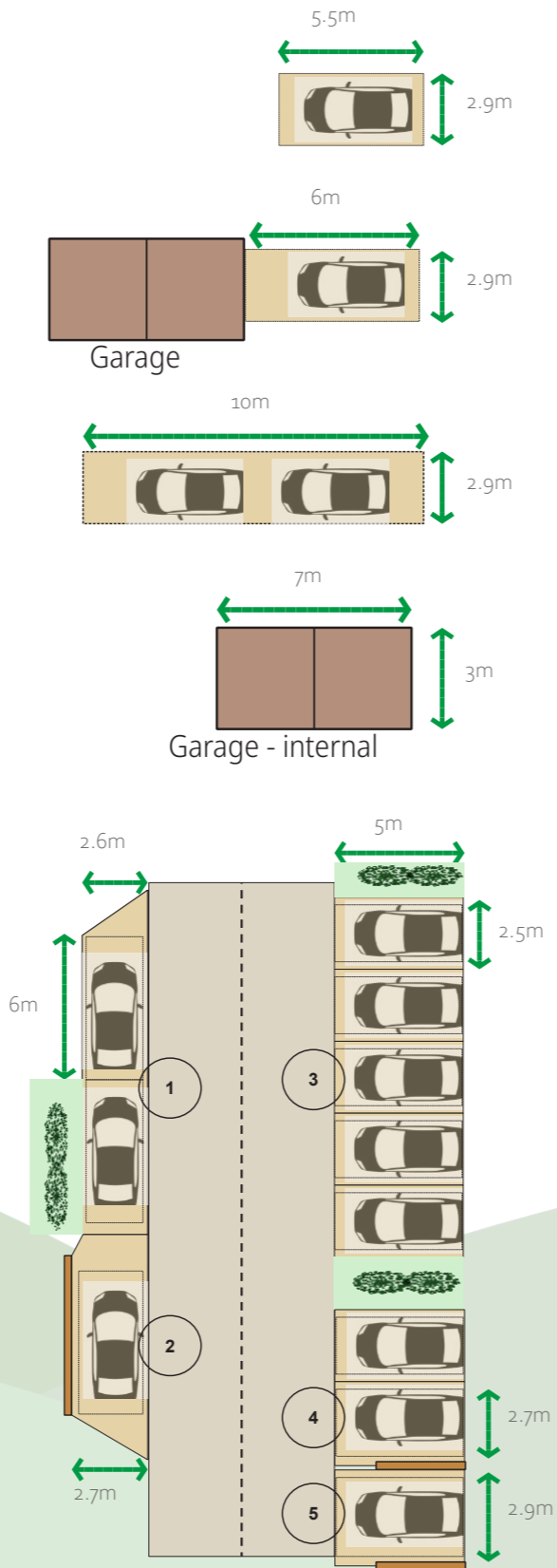
CODE LAM.M06 - Parking - Vehicles (Layout)

- a. Car parking **should** be attractive and functional and follow guidance set out in the Manual For Streets.
- b. The number of car parking spaces **must** meet the requirements for the development type and number of bedrooms as set out by West Berkshire Council.
- c. On plot parking is preferable and where possible **should** be located to the side of the property.
- d. Car ports are preferable to a garage, as often garages are either converted or used for personal storage rather than parking. This loss of parking then exacerbates the current parking issues.
- e. Where garages are proposed, it **should** be considered whether a condition limiting their use and conversion may be appropriate.
- f. Communal parking provided for apartments **should** be directly accessible and laid out attractively and functionally
- g. Where rear courtyard or mews court parking is proposed, this **must** only be where homes directly overlook and front the parking areas. They **should** be secure, well overlooked and lit, whilst being in close proximity to the dwellings it serves. Where possible these spaces **should** be directly accessible from the dwelling or any associated amenity space to minimise walking distance.
- h. On-street parking **should not** dominate the street scene. It should be broken up with vegetation which should be placed so as not to adversely affect visibility.
- i. Planting **should** be in keeping with the wider character of the area and offer biodiversity benefit. Choice of plants and hard landscaping should also be functional and attractive chosen from a co-ordinating materials palette to add visual excitement to the street scene.

Vehicle Parking

CODE LAM.M07 - Car Parking

- a. A parking space should be at least 5.5m x 2.9m, but ideally further space should be allowed on a driveway to walk alongside a car
- b. A parking space in front of a garage or dwelling should be at least 6m in length to allow for the door to be opened without moving the vehicle, or placing the vehicle overhanging the footway
- c. A tandem parking space should be at least 10m x 2.9m with additional space if located in front of a garage
- d. A garage must have an internal dimension of at least 7m x 3m
 - 1 Parallel parking should be 6m long and 2.5m wide as doors can open into street or footway.
 - 2 Parallel parking spaces which are restricted by a fence or wall etc will need to be wider and 2.7m is recommended.
 - 3 Perpendicular spaces must be 5m long and 2.5m wide if next to another parking space or open space.
 - 4 If constrained along one edge then the width should increase to 2.7m.
 - 5 If constrained on both sides the width needs to increase to 2.9m
- e. All houses with on-plot parking should have a dedicated (Electric Vehicle) EV charging point.
- f. Within communal Parking Courts, parking spaces should be at least 5.5m x 2.9m. The rows should be separated by at least 6m to allow ease of manoeuvring. Communal Parking Courts must have EV charging ports in accordance with Part S of the Building Regulations.
- g. At least 5% of spaces should be suitable for use by disabled people.
- h. A courtyard should be designed with sufficient planting and landscaping in front of properties to soften the hard urban streetscape.



Parking Examples

Surface materials are extremely important. They can be used in a number of ways, for example to:

- define different road types and speed limits; or
- highlight pedestrian or cycle usage; or
- contain green spaces, or
- simply to indicate the character of an area.

In Lambourn some of the originally designed surfaces have been replaced by tarmac, concrete or other inappropriate poor quality surfaces.

Block paving is only commonplace on modern development for private driveways. Older properties, generally comprise gravel paths and parking areas.

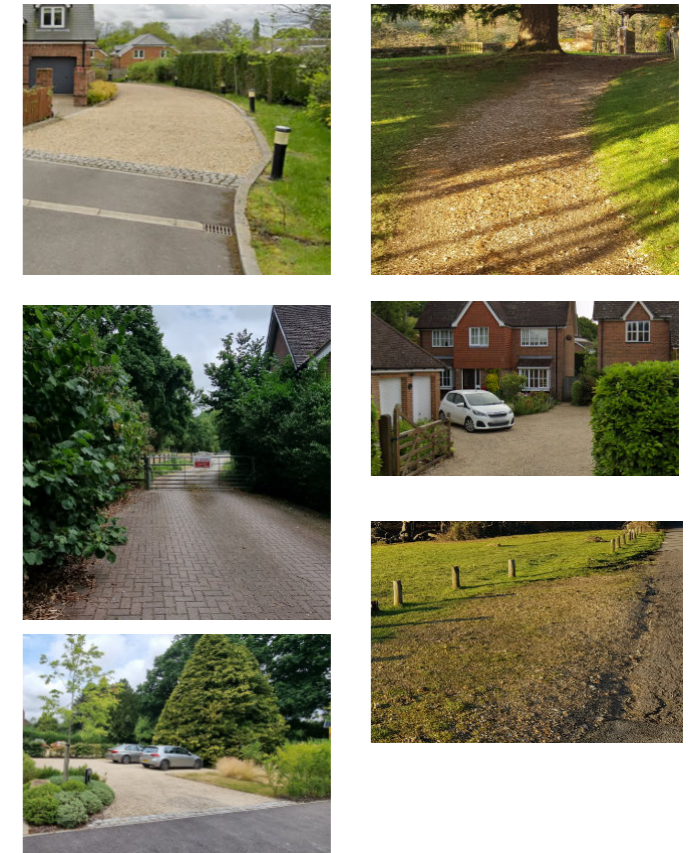
Surface materials are an integral element of creating areas of public realm, ensuring cohesion and continuity. In order to achieve this, a limited palette with materials that are attractive, simple, durable, appropriate to the local character and capable of withstanding their intended use should be chosen.

Steps for example, should be highlighted in a contrasting material to reduce the likelihood of a trip or fall.

Private spaces must be defined by a change in material or physical barrier such as vegetation, fencing or walls.

CODE LAM.M07 - Surfacing

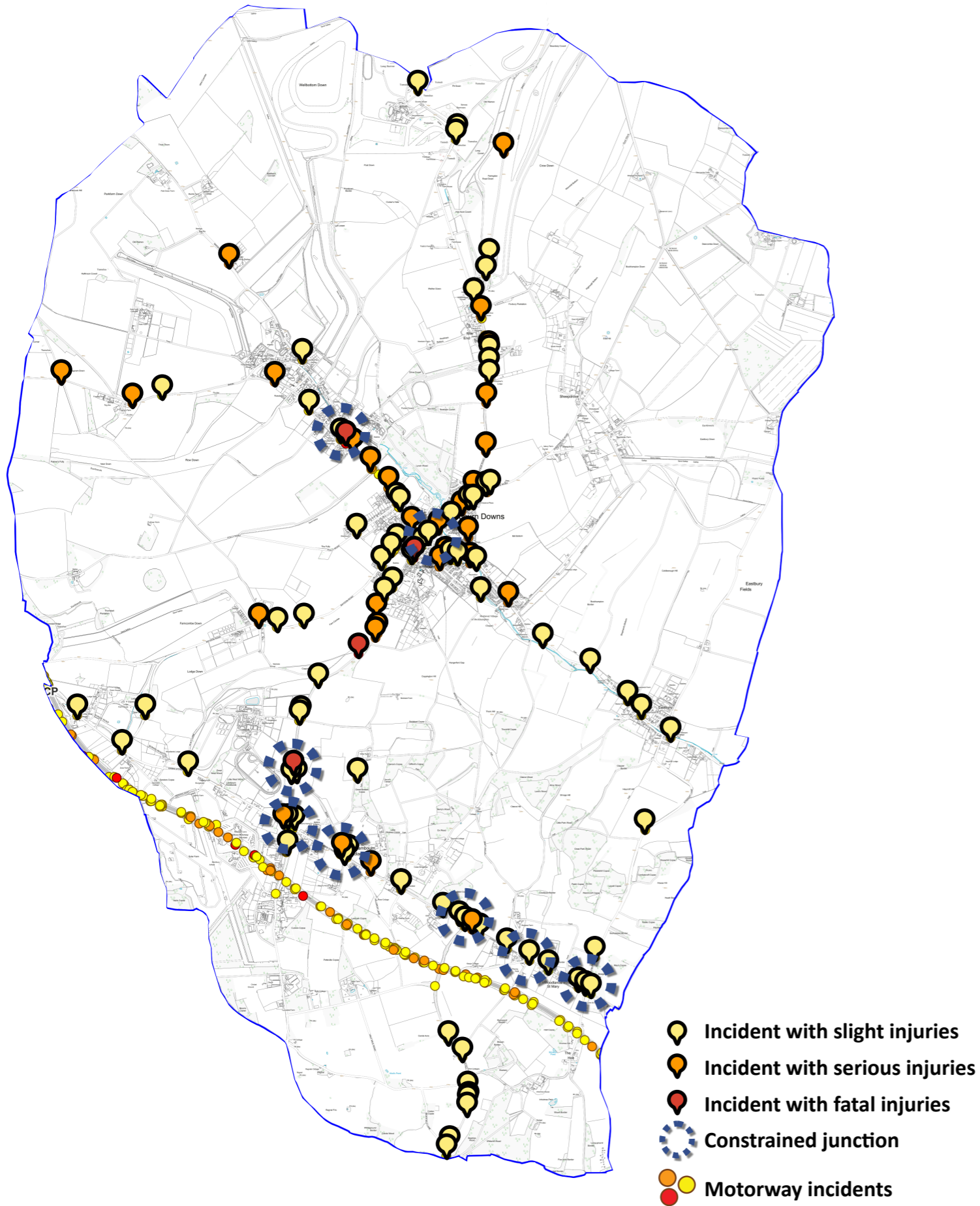
- a. Lambourn is a rural parish, with surfaces often highly visible within the landscape. Therefore the choice of materials should be low key and blend with the natural environment.
 - b. Surface materials used within the public realm must be high quality, durable and complement the local context, in addition to satisfying technical requirements and offering a long term, sustainable solution.
 - c. Materials should be chosen from a limited colour palette appropriate to the scheme to avoid, clutter, confusion and disorientation.
 - d. Large areas of concrete, tarmac, block paving etc, should not be used. Instead, gravel and bonded gravel are preferred. This can be contained by granite setts. In some instances, for highway safety reasons tarmac is required, but should be minimised where possible.
 - e. When replacing existing surfaces, original high quality surfaces should not be replaced by tarmac or cheaper concrete alternatives.
 - f. The route hierarchy should be surfaced reflecting the nature of the use and the location. The installation of kerbs on rural lanes as a result of development proposals is not encouraged.
 - g. Existing grass verges should not be lost to development.
 - h. The palette of surface materials can substantially improve the appearance of an area. These could include:
 - bound pea shingle
 - high quality and permeable block paving
 - granite or concrete setts
 - stable blocks and
 - cobbled edges.
- Surfaces for the Racehorse Industry are dealt within in the Commercial Development section below.



Large areas of hard surfaces, poorly finished treatments or patched finished with tarmac or concrete for cost saving reasons has an urbanising and adverse impact on the character of the area.

Where appropriate, loose / compacted, permeable surfacing is preferred for both visual appearance and drainage reasons.

Road Traffic Incidents* and Constrained Junctions / Routes



*Reported incident data from 2000-2021

Highways and Road Safety

The Parish contains many rural roads and narrow lanes. Some of these have low traffic numbers, but even these are increasing year on year.

The concern with the rural lanes is that many are subject to inappropriate development proposals which will increase traffic numbers, particularly HGV movements and increase the conflicts between vehicles, pedestrians, cyclists and horse riders.

Clearly the latter is more important than most parishes given the number of movements from the racing yards to the nearby public and private gallops.

Equally the number of young cyclists in the Parish is high as many people cannot afford a car and need to travel to their employment where there is little to no public transport available.

The adjacent plan highlights the severity and number of road traffic incidents in the Parish since 2000.

Below are more detailed maps of constrained junctions in the area. The markers on the map only show those incidents which were reported to the police and not minor incidents or near misses.

These also do not reflect those incidents which cause property damage etc.

The first series of maps relate to Lambourn village and the numerous junctions which have poor visibility and turning width. The crossroads in the centre is particularly problematic as the buildings are sited abutting the carriageway edges.

There are many other constrained junctions which are also exacerbated by narrow road widths and on-street car parking.

The junctions into Upper Lambourn are particularly difficult with poor visibility. It is difficult for slow moving vehicles including horseboxes to safely exit onto the B4000 Upper Lambourn Road.

The residents of Lambourn Woodlands are extremely concerned regarding the increasing number and severity of incidents (as highlighted below).

The Lambourn Woodlands residents have recently requested that their local MP provide a commitment to introducing road safety solutions and reviewing the planning criteria at the Membury employment sites in regard to proposed development which significantly increase HGV movements (either singularly or cumulatively).

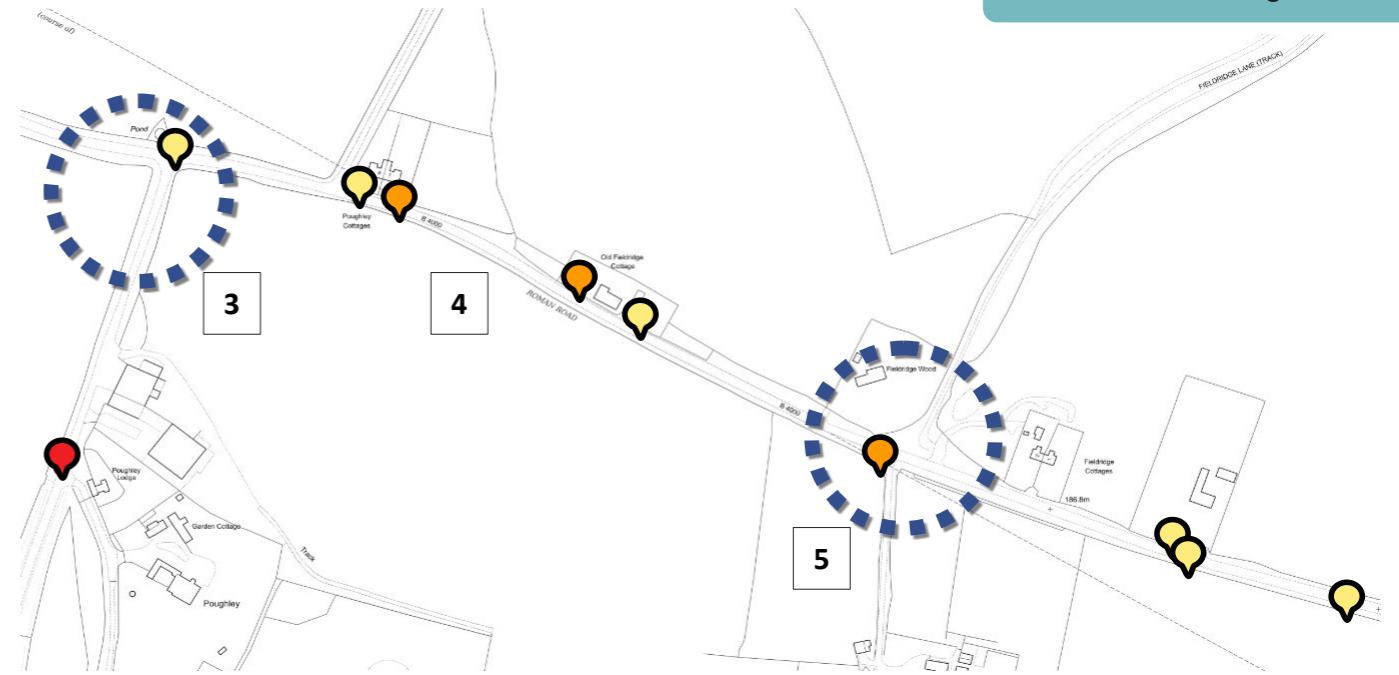


Constrained Junctions detail - Crossroads - Edwards Hill / High Street / Crowle Road





Constrained Junctions detail - Crossroads - B4001 / High Street / Market Place / Parsonage Lane



3. Constrained Junctions detail - Ermin Street with road to Poughley

4. Constrained Junctions detail - Ermin Street with Goodings Lane

5. Constrained Junctions detail - Ermin Street with Fieldridge Lane / Somercourt



1. Constrained Junctions detail - Crossroads - Ermin Street with Oldings Hill / Stony Lane

2. Constrained Junctions detail - Crossroads - Ermin Street with Eastbury Shute / Inholmes

Some recent examples of incidents on Ermin Street include:

On the A338/B4000 at Old Fieldridge Cottage on Ermin Street, close to the Poughley and Goodings junctions, a fully laden 30 tonne HGV failed to navigate the small rising curve in the road en route from Membury Industrial Estate to the M4, taking out trees, hedges, a flint wall boundary and crashed into the front door porch below a bedroom. Power cables were brought down and emergency services arrived on the scene to attend to the HGV driver and another car driver. Fortunately there were no fatalities.

A week later in the same location, a further collision occurred involving a two cars whose drivers required an Air Ambulance called up by the Emergency Services.

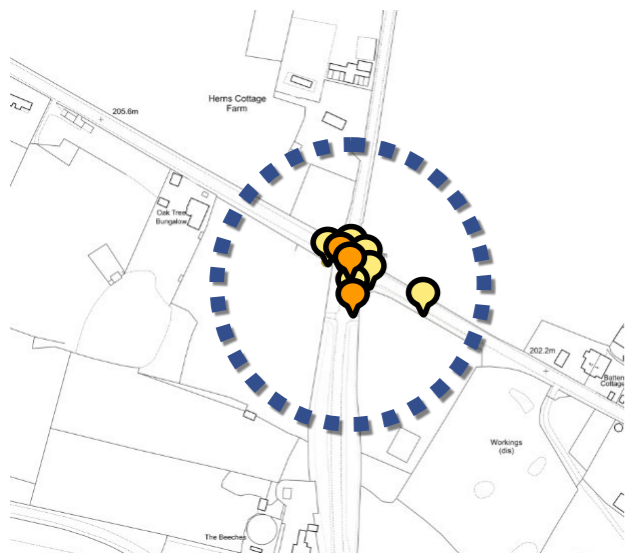
It is understood that currently, Police will only write up accidents with serious injuries, so many accidents go unreported.

A recent example was seen on December 12th, 2023, when an HGV on the B4000, probably going too fast on a downward approach past the Chilton Foliat turn off, had to slam his brakes on to avoid a parked home-

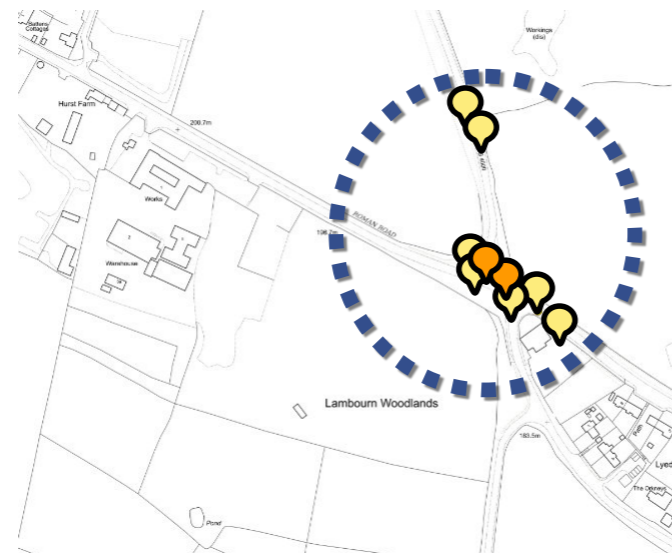
delivery van where on-coming traffic prevented an overtake. Mounting the verge, he just missed a property whose soft ground and small boundary ditch brought him to a long, sliding halt feet away from a large tree.



The parish residents feel that the current speed limit in place on Ermin Street is too high and incidences of speeding and dangerous overtaking are a serious concern that lead to numerous accidents taking place.



Constrained Junctions detail - Crossroads - Ermin Street with Ramsbury Rd / unnamed Rd



Constrained Junctions detail - Crossroads - Ermin Street with B4000 / Hilldrop Lane



CODE LAM.M08 - Commercial Development - Active Travel, Highway Safety and Design Solutions



The Church at Lambourn Woodlands has lay-by parking abutting Ermin Street. This makes it dangerous for visitors who have to step out into the path of fast moving vehicles



The constrained junction onto the B4000 from Upper Lambourn is problematic for slow vehicles. The visibility is poor and speeding exacerbates such problems



Ermin Street has many private driveways leading directly on it. This means that vehicles stop suddenly, particularly delivery vehicles and often obstruct the road



The restricted widths of roads in the centre of Lambourn make manoeuvring large vehicles problematic

Active Travel

- New development proposals **must** put the needs of pedestrians, cyclists and horse riders as a priority over vehicles.
- New industrial development or uses which generate HGVs movements **must** consider the routes which will be used by such vehicles and the potential conflict points with vulnerable users.
- Pedestrian and cycle usage **must** be considered and provided for in a manner which encourages such use in a convenient, direct, safe, comfortable and attractive manner.
- Sufficient and proportionate information **must** be provided to accompany any application to determine the likely impact of a proposed scheme and whether it may exacerbate the problem areas highlighted above.

Junctions and Road Safety

- Development proposals which are likely to increase HGV traffic movements on the above highlighted constrained junctions **must** contain sufficient and proportionate information to determine whether the site is sufficiently accessible via rural roads.
- Any new junctions onto adopted roads **must** include consideration of the existing speed limits.
- Support will be given where a lowering of the speed limit is proposed following discussion between the applicants and the Parish Council.
- Consideration **must** be given to the use of lorry routing agreements.

Vehicle Access and Circulation

- The movement of HGVs within and around a development has a significant impact on its layout, operation, and integration with the

surrounding roads. Careful consideration **must** be given to the following:

- Internal Circulation:** The design of internal roads and access points should accommodate HGV movements while minimising disruption to pedestrians and other users.
- Junction Design:** Junctions between the development and surrounding roads and rural lanes should be designed to handle heavy vehicle traffic safely and efficiently.
- Street Widths:** Adequate road widths on site are essential to accommodate heavy vehicles without causing congestion or safety hazards. Equally, the surrounding road network must be suitable to accommodate additional traffic
- Separation of Traffic:** Routes for servicing vehicles should be segregated from public access to minimise conflicts and enhance pedestrian safety.
- Use vehicle tracking and implementing design features such as minimum radii, appropriate surfacing materials, and other enhancements can create a more pedestrian-friendly environment while accommodating HGV movements.

Environmental Impact

- The additional noise, soil and air pollution arising from traffic movements associated with new development proposals **must** be considered, particularly where traffic movements will be in close proximity to residential properties.

Impact on Membury Services

- There are a number of unadopted roads in the area including restricted access to Membury services and onto the M4. The use of these unofficial routes and the impact of this **must** be considered in any application which generates substantial traffic movements.

To avoid adverse impacts, co-ordinating utilities should be considered early on in the design process to enable discreet and convenient delivery and maintenance.

To ensure efficient use of space and for aesthetic reasons, services should be provided underground, below roads and footpaths. It is important to consider the desired placement of new planting and existing trees and shrubs.

All services and utilities must be easily accessible for future maintenance and locations should be considered which causes the least disruption.

Detailed advice on providing for utilities in new developments can be found in Street Works UK Guidance. <http://streetworks.org.uk/>

Guidance on spacing and turning requirements is provided in Manual for Streets - <https://www.gov.uk/government/publications/manual-for-streets>.

CODE LAM.M09 - Services & Utilities

Utilities

- a. Utility companies and other service providers should be consulted as soon as possible to ensure that all necessary services are available and to avoid any conflicts during construction.
- b. Services should be located under footways or service strips rather than under carriageways.
- c. Designers should consider the future by allowing additional space within the ducting for future technologies.
- d. Ducting should be provided to a point at the property boundary where it can be connected at a future date as required.
- e. Utility related street furniture should be minimised where possible.
- f. Services should not be located within landscaping strips where tree roots may cause an adverse impact.
- g. Larger areas of public open space may be more suitable for services, where such spaces remain free of planting.

Lighting

- a. Not all streets or buildings require lighting. There are many instances where the provision of lighting may be detrimental. Such dark areas are important for ecology, especially bat flight corridors.
- b. A compromise for example may be more suitable, such covered down lighters or sensor lighting.
- c. Lighting design should be in keeping with that of the surrounding area and

use lower energy lamps.

- d. Any development proposal should consider the individual location in detail (see separate section on commercial lighting on page 84).

Waste / Recycling & Bin-collection points

- a. Residents should not have to carry a bin more than 30 metres (excluding vertical distances) to the bin-collection point. Bin-collection points must be provided within 25 metres of any dwelling that is more than 25 metres from the highway.
- b. Drop kerbs must be provided to facilitate wheelie bin collection.
- c. Waste and recycling provision should be made at the rear of houses (where practicable), which can be brought to the street via a carriage way, gated access or private path. Service alleys should service no more than 5 houses and be lockable.
- d. Communal waste and recycling storage buildings may be used for apartments. These should be attractively designed to complement the apartment building.

Fire tender access

- a. Any dwelling that is more than 45 metres from the highway must have a driveway that is wide enough (at least 3.7 metres) and strong enough (capable of carrying a 12.5-tonne vehicle) to accommodate fire tenders.
- b. The street network must accommodate the mobility of all emergency vehicles and service vehicles and refuse collection services.



Householder Development Design Code

Householder Development: Design Considerations

Home extensions are a common way for residents to improve their living space. While seemingly minor, even small alterations can significantly impact a property's appearance and the character of the surrounding area, such as Lavander Cottage in Upper Lambourn.

Sensitive Design is Key:

Well-designed extensions can enhance a home's character and provide valuable additional space. However, it's essential to consider the impact on both the property and the wider neighbourhood. Extensions should complement the existing building and its surroundings, ensuring they do not harm the visual appeal of the area or adversely affect neighbours.

Key Considerations:

When planning a home extension, carefully consider the following:

1. Design Quality: The extension should be sympathetic to the original building's style and materials.
2. Impact on Neighbours: Ensure the extension does not overshadow neighbouring properties or cause loss of light.
3. Visual Amenity: The design should enhance the property's appearance and contribute positively to the character of the area.

West Berkshire Council requires all new residential schemes to be of a high quality, to be well designed and built to a high standard in accordance with National Planning Policy.

Whilst many householder proposals fall within the remit of permitted development it is hoped that this document will be used by all residents (for good practice) and not just those seeking planning permission.

For more information prior to submitting an application, please see:

<https://www.westberks.gov.uk/permitted>

Consultation

It is recommended that in addition to speaking to Council Officers, it is advisable to speak to neighbours and explain your proposals.

All applications will automatically be sent to the Parish Council and discussed at Parish Council meetings. Again, it is advisable to discuss your proposals with the Parish Council in advance. They will be able to point out local considerations you may not be aware of and will be able to discuss how to support you appropriately.

Impact on Neighbouring Properties and Land Ownership

Consider what impact not only the proposals will have, but also the building works as well.

It is often the case that a development proposal may require new drainage works. Consider how this will impact upon existing systems, as well as other neighbouring properties. In some cases, applicants have not considered how drains, gutters or soakaways may be accommodated within the site. In some situations applications have been received where drainpipes and gutters overhang a neighbour's property.

Consideration must be given to the extent of your land ownership and that of your neighbours. Accurate plans must be submitted as part of your planning application.

The following Design Code sets out expectations and is followed by a series of pages highlighting good practice and examples.

Temporary Buildings

There is a trend for prefabricated garden rooms / offices, mobile homes /static caravans. Whilst many of these do not need permission, a lot will depend on the degree of permanence, as well as other factors. Outside of the residential curtilage, you may also need to change the use of land from agriculture or equestrian use for example. In such circumstances a Certificate of Lawfulness may be required. See <https://www.westberks.gov.uk/certificateoflawfulness>

Other Matters

The pages relate to the form and impact of an extension, but pages on design, appearance, materials, landscaping, parking, drainage, boundaries, biodiversity and climate change and sustainability etc should also be read in conjunction to ensure that an application is well considered and likely to receive support.

CODE LAM.H01 - Extensions, Renovations & Conversions

- An extension must be subordinate to the main dwelling in scale and design;**
- It should not dominate the existing building, neighbouring property or wider street scene. A slight set back of the extension from the frontage of the original dwelling can help reduce the visual impact; and**
- Extensions should not result in a significant loss of private amenity space; and**
- An extension should demonstrate that analysis of the character of the main dwelling has been incorporated in the design of the extension through form, composition and architectural detailing in keeping with the identified character of the area (see Character Appraisal); and**
- Should retain native trees and hedgerows as part of an overall landscape scheme; and**
- Should not result in a significant loss of private amenity space or important gaps between buildings; and**
- Should retain sufficient space for planting to soften boundary treatments; and**
- All extensions, renovations and conversions should also incorporate the following details on low carbon buildings in the next section.**



Here, a pair of old cottages has been refurbished with high quality materials and contemporary window placements to the side. The proportions of the original windows and doors have been retained. Small personalisation strip front gardens have been provided



The extension of this cottage follows the original form of the dwelling with a subservient addition. The ridge line is lower, as are the eaves and it is set back from the main body of the dwelling. It successfully complements the dwelling without competing. Whilst it could be argued that the brickwork detailing should match, it could also be argued that the same level of detailing would compete with and detract from the original property

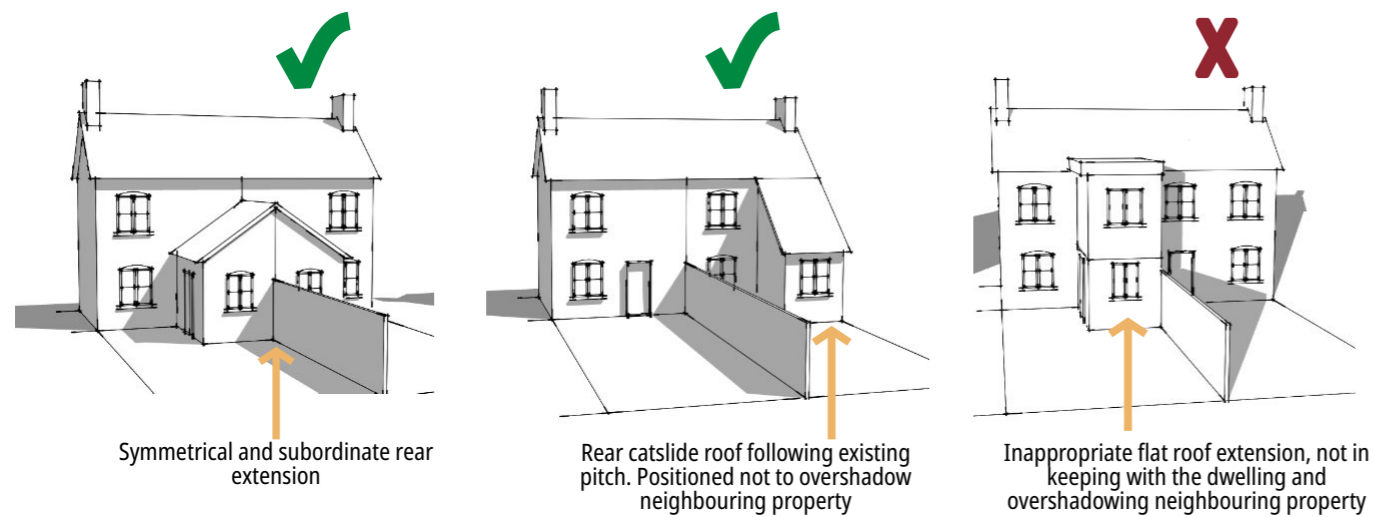


Previous low key single storey bungalow set in a large plot



Extended to a now 1.5-2 storey dwelling of an original design with interesting detailing and materials

Extensions to Buildings Good Practice and Examples

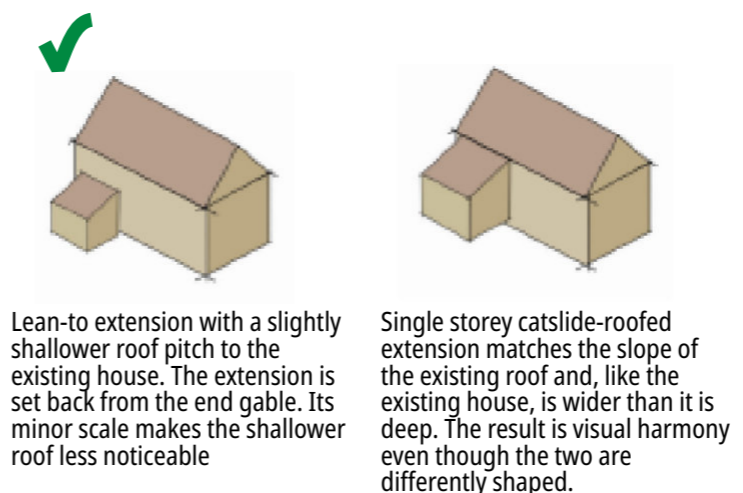


Symmetrical and subordinate rear extension

Rear catslide roof following existing pitch. Positioned not to overshadow neighbouring property

Inappropriate flat roof extension, not in keeping with the dwelling and overshadowing neighbouring property

Extensions to Buildings Good Practice and Examples



Lean-to extension with a slightly shallower roof pitch to the existing house. The extension is set back from the end gable. Its minor scale makes the shallower roof less noticeable

Single storey catslide-roofed extension matches the slope of the existing roof and, like the existing house, is wider than it is deep. The result is visual harmony even though the two are differently shaped.

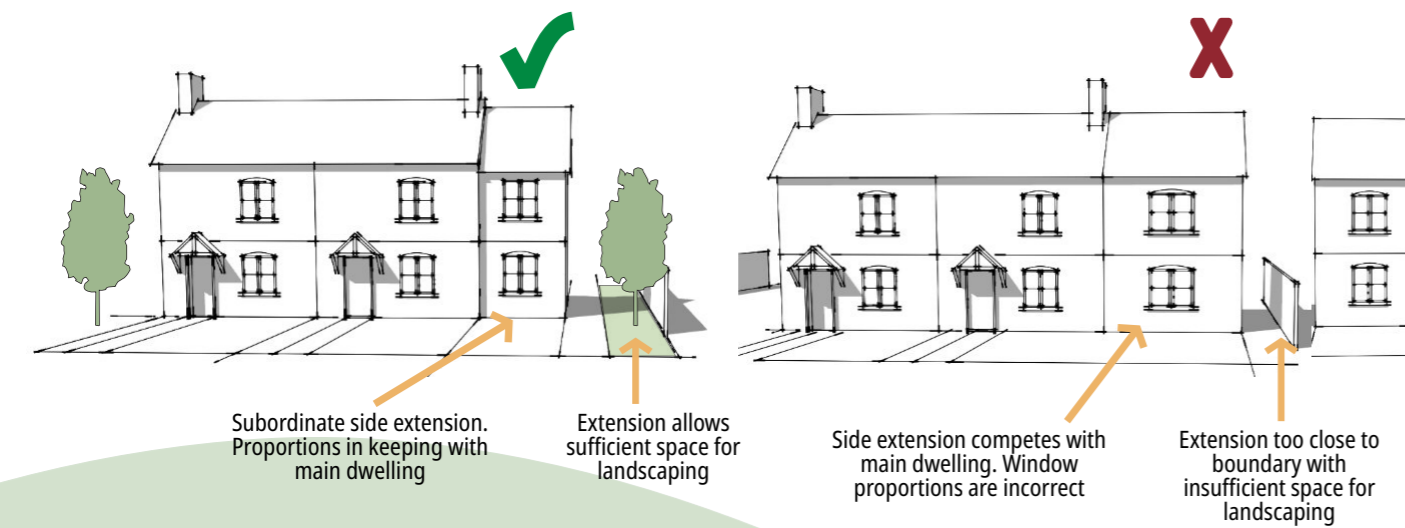


The property (and the adjacent cottage), were both unlisted at the time extensive changes were proposed.

Renovation and extension of both cottages has led to unfortunate replacement of original thatch with tiles.

Extensions and alterations have led to a loss of understanding of the original cottage and to a form of development which is more modern and unsympathetic to its origins.

This highlights the importance of identifying non-designated heritage assets within the Parish.

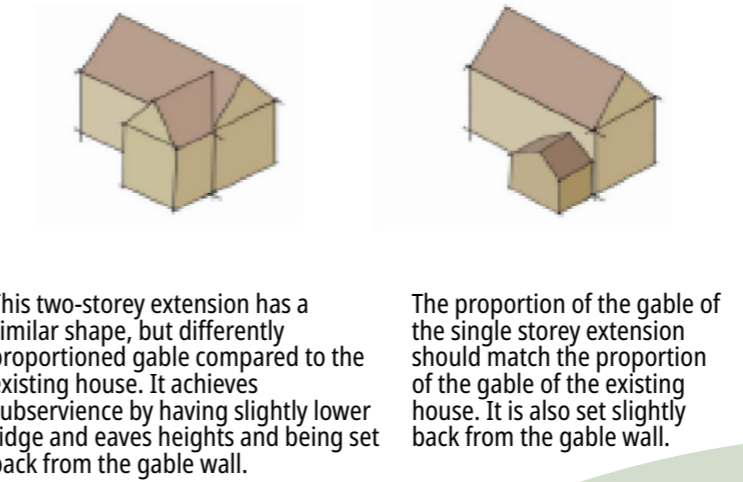


Subordinate side extension. Proportions in keeping with main dwelling

Extension allows sufficient space for landscaping

Side extension competes with main dwelling. Window proportions are incorrect

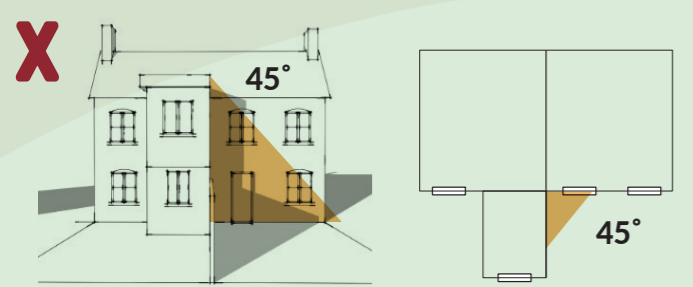
Extension too close to boundary with insufficient space for landscaping



This two-storey extension has a similar shape, but differently proportioned gable compared to the existing house. It achieves subservience by having slightly lower ridge and eaves heights and being set back from the gable wall.

The proportion of the gable of the single storey extension should match the proportion of the gable of the existing house. It is also set slightly back from the gable wall.

Overshadowing



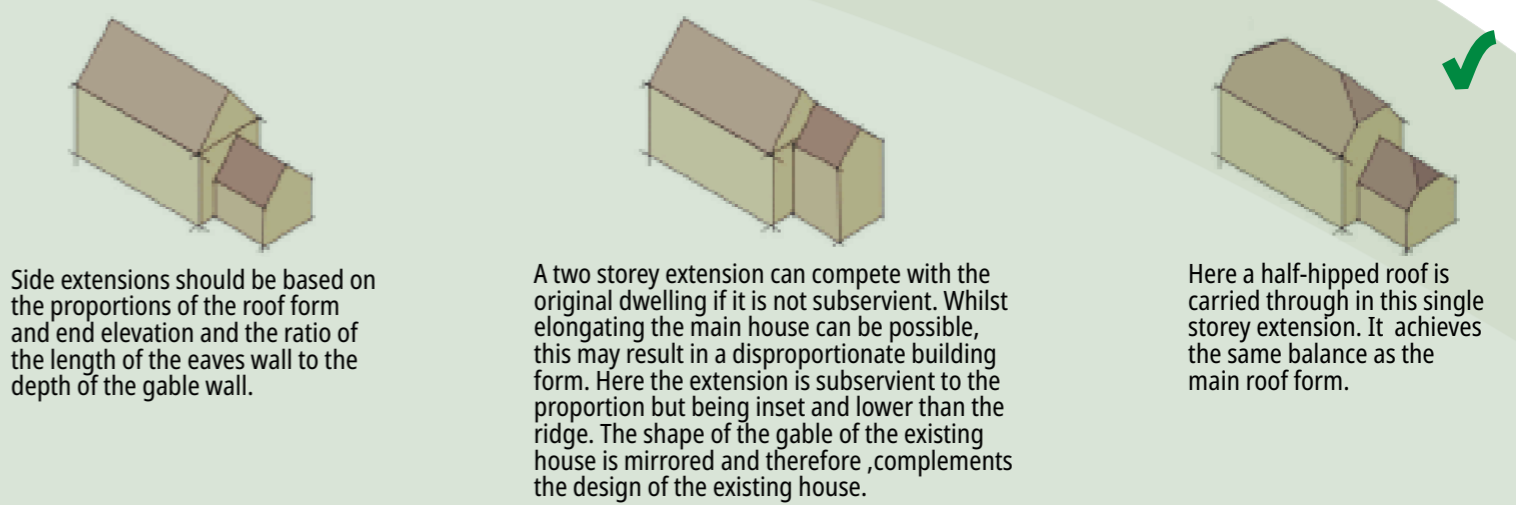
Here, the position of an extension would overshadow the neighbouring dwelling from both depth and height

Achieving Adequate Daylight - The 45° Rule

Projections which are excessive, overbearing on adjacent properties, or will cause a loss of daylight to existing adjacent windows and amenity space are unlikely to be acceptable.

Any projection or extensions to a building, should not exceed a 45° line taken from the centre of the nearest ground floor window of a habitable room.

See further light, aspect and privacy guidance on page 25.



Side extensions should be based on the proportions of the roof form and end elevation and the ratio of the length of the eaves wall to the depth of the gable wall.

A two storey extension can compete with the original dwelling if it is not subservient. Whilst elongating the main house can be possible, this may result in a disproportionate building form. Here the extension is subservient to the proportion but being inset and lower than the ridge. The shape of the gable of the existing house is mirrored and therefore complements the design of the existing house.

Here a half-hipped roof is carried through in this single storey extension. It achieves the same balance as the main roof form.

Residential Garages and Outbuildings

Garages, cycle stores, bin stores and other residential outbuildings are a feature of modern living, and should be included as an integral part of the overall design from the outset for new build properties.

Where these are designed as a later addition, their impact from the public realm must be considered, as well as their likely impact on surrounding dwellings and their occupants.

Garage conversions

Garage conversions to habitable accommodation generally result in the loss of a vehicle parking space (although it is acknowledged that many older garages are no longer large enough for modern vehicles).

Where a loss of parking space results, Highway Officers will assess the capacity for parking on plot as well as the level of on-street parking when determining applications. Therefore, where there is insufficient space for on plot parking, conversions are likely to be classed as unacceptable.

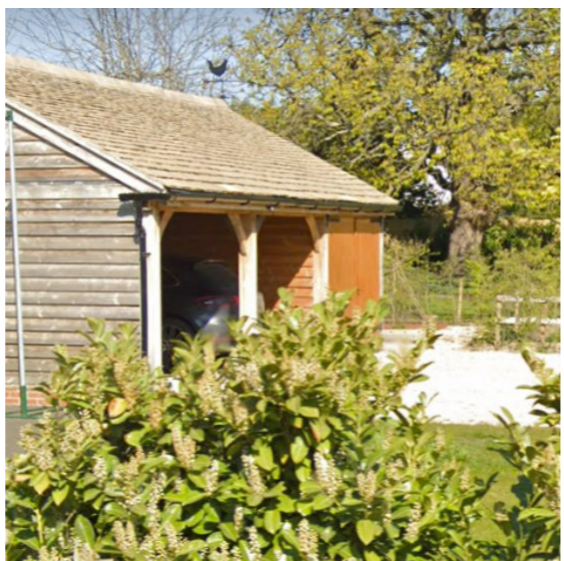
CODE LAM.H02 - Residential Garages and Outbuildings

- **The design of outbuildings and bin storage should be subordinate to the main property, either as free standing structures or as additional forms to the main building.**
- **Outbuildings should be sited behind the frontage of the dwelling, unless existing outbuildings in a street form part of the street frontage. In which case, such outbuildings should be designed to be in keeping with the character of the area.**
- **Adequate bin storage where provided on plot should be accessible from the front or side of homes.**
- **In communal buildings these should be sited for ease of access to all residents. This may be within the building itself or in a well designed separate bin store, situated to deter crime.**



A simple overhang or catslide roof on the edge of an outbuilding can form an effective log store

Double garages can be intrusive and siting is important. Here the building sits on the boundary and helps to enclose a parking courtyard, which is accessed by a five bar gate, appropriate for this setting.



Separate timber (on brick plinth) cartsheds and garages are commonplace and work well in a countryside setting.



Garage designed with half-hipped roof to match surrounding properties

Respecting Existing Features:

Lambourn's unique character is shaped not only by buildings but also by its natural environment. Existing trees, hedges, streams, rivers, and even pockets of open space, which all contribute significantly to the area's charm and visual appeal.

The Design Code encourages householders to assess their site and look at how proposals can incorporate the retention of mature vegetation, water features, and open spaces.

These elements not only enhance the visual quality of the area but also:

- Reduce development impact to neighbours
- Retain important native, mature trees and hedgerows, which are not easy to replace.
- Retain planting which can act as visual screens, softening the impact of new development to the public realm.
- Support Biodiversity by continuing to provide valuable habitats and foraging zones for wildlife.

Current and future flooding is of key concern in the Parish. Proposals may not directly impact the site, but may compromise nearby watercourses or create flood risk to neighbouring properties.

Any proposals which exacerbate this problems will not be approved.

Considering the Future

The design code discourages extensions that would be significantly overshadowed by existing trees or hedges. This helps to avoid future pressure to remove these valuable natural elements.

By working with existing natural features, new developments can be designed to harmonise with Lambourn's character and create a more sustainable and visually appealing environment.



Fencing set within the garden area and not on the public boundary

Close board fencing is urban in appearance and not suitable for locations adjacent to the public highway (which includes footpaths and bridleways). Instead, a hedge is preferable or traditional stone or brick, brick / flint wall. Where fencing is required, it must be softened by native planting adjacent to the public realm.

Appropriate gateways also have a major impact on the public realm. Five bar gates (and similar styles) are appropriate for this rural environment.

Tall blank or boarded gates are generally unacceptable, as are the majority of ornate metalwork gates, particularly when combined with large brick pillars or similar entrance features

Resources and Climate Change

The National Design Guide states that “Well-designed places and buildings conserve natural resources including land, water, energy and materials.

Their design responds to the impacts of climate change by being energy efficient and minimising carbon emissions to meet net zero by 2050. It identifies measures to achieve:

mitigation, primarily by reducing greenhouse gas emissions and minimising embodied energy; and

adaptation to anticipated events, such as rising temperatures and the increasing risk of flooding.”

This can be achieved through:

R1 Following the energy hierarchy

R2 Careful selection of materials and construction techniques

R3 Maximising resilience

The following section looks in more detail at reducing the amount of resources used both in construction and future use by occupants. This is not only in materials, but for land, water and energy.

New building should aim to be in excess of the requirements set out in current Building Regulations or at least be easily adaptable to do so. This Design Code however does not seek to duplicate current Building Regulations and this should be reviewed separately.

Lifespan

The National Design Guide states that:

“Well-designed places sustain their beauty over the long term. They add to the quality of life of their users and as a result, people are more likely to care for them over their lifespan.”

It goes on to state that such spaces are

- *“designed and planned for long-term stewardship by landowners, communities and local authorities from the earliest stages;*
- *robust, easy to use and look after, and*
- *enable their users to establish a sense of*

ownership and belonging, ensuring places and buildings age gracefully;

- *adaptable to their users’ changing needs and evolving technologies; and*
- *well-managed and maintained by their users, owners, landlords and public agencies.”*

This can be achieved through ensuring that places:

L1 Are well-managed and maintained

L2 Are adaptable to changing needs and evolving technologies

L3 Have a sense of ownership

These the sue of resources and the lifespans of buildings as with many of the others very much interlinked.

The future maintenance and lifespan has been referred to in many of the Design Codes above and therefore this document should be read as a whole.

In particular, please see the section on creating a sense of place and identity, adaptable buildings, public open space and future maintenance.

Low and Zero Carbon Buildings

In recognition of the Climate Emergency and the very real need to meet net zero as soon as possible, the Lambourn community is keen to ensure that all new buildings should work towards achieving net zero carbon (subject to viability considerations), and for major non-



residential development to achieve BREEAM ‘Excellent’ (again subject to viability considerations).

Carbon can be reduced in the design process through reducing the amount of materials needed through structural design and building form, in addition to choosing lower carbon materials.

Developers must seek to reduce carbon emissions during the construction phase. This can be achieved through employing local contractors and reusing and recycling building materials and reducing site waste.

The standard to which buildings are constructed will affect total embodied carbon for the lifetime of the building. New development must be sufficiently insulated and air tight.

Renewable energy & low carbon appliances should be installed in new properties.

At the design and construction stages consideration for the ‘end of life’ of the building should be considered so as to reduce carbon emissions from demolition and ensuring materials are reusable.

Existing buildings should seek to be retrofitted.

Sustainability in Existing Buildings

While this Design Code primarily focuses on new development within Lambourn, it acknowledges the importance of addressing emissions from existing buildings to achieve overall sustainability goals.

Opportunities for Existing Building Upgrades:

The Design Code sets out that there are extensive opportunities exist to improve the energy efficiency of existing residential buildings within the neighbourhood area.

Whilst many are permitted development, these are opportunities that may arise during planning applications for change of use, conversions, extensions, etc, which do require permission.

This Design Code encourages the implementation of energy efficiency measures for all development (even where permission is

Energy Hierarchy

Reduce Need for Energy

By using passive measures, such as orientation and fabric

Be Energy Efficient

By utilising appropriate mechanical and electrical systems such as including heat pumps, heat recovery and low energy lighting.

Maximise Renewable Energy

Maximise on plot generation from single dwellings through to larger community and business operated schemes

not required), as described for new development where feasible and appropriate.

Renewable Energy

Renewable options are increasing in number, availability and price.

Following on from the Energy Hierarchy above and orientation of buildings for sunlight and daylight on page 25, buildings should also be optimised in terms of layout for renewable energy. With consideration given to locations for such technology.

Balancing Energy Efficiency and Historic Preservation

The Design Code acknowledges the potential conflict between energy efficiency measures and the preservation of Lambourn’s Listed Buildings. However, it is emphasised that retaining, reusing, refurbishing, and retrofitting existing buildings remain fundamental strategies for achieving net-zero carbon targets.

Developers and homeowners are encouraged to find creative solutions that balance energy efficiency improvements with the protection of the historic environment.

Carbon Net Zero Building Example



Example of a new build dwelling in the Parish which has adopted Passivhaus principles.

Energy in the form of electricity is generated on site with PV panels, supported by a battery. Low energy appliances, lights etc. are fitted throughout, and an air source heat pump supplies heat and hot water.

The result is a net zero house, which is at the same time a low running cost and a pleasant place to occupy, with facilities to suit the ageing occupants in future years.

Details of the construction which has resulted in low heat losses, and low air leakage.

The building faces south to maximise solar heat gain and PV efficiency.

Externally, it has brick walls, zinc covered roof slopes and gable ends, and a large roof slope covered entirely with PV panels.

In sustainability terms, bricks are extremely durable albeit at the cost of requiring a lot of energy to make, and zinc has a life often exceeding 100 years: it can be recycled indefinitely without any loss of physical or chemical properties.

The foam insulation is oil-derived, however, and although very efficient in terms of insulation for its thickness, substitution by a sustainable alternative would be the first matter to consider for any future building.



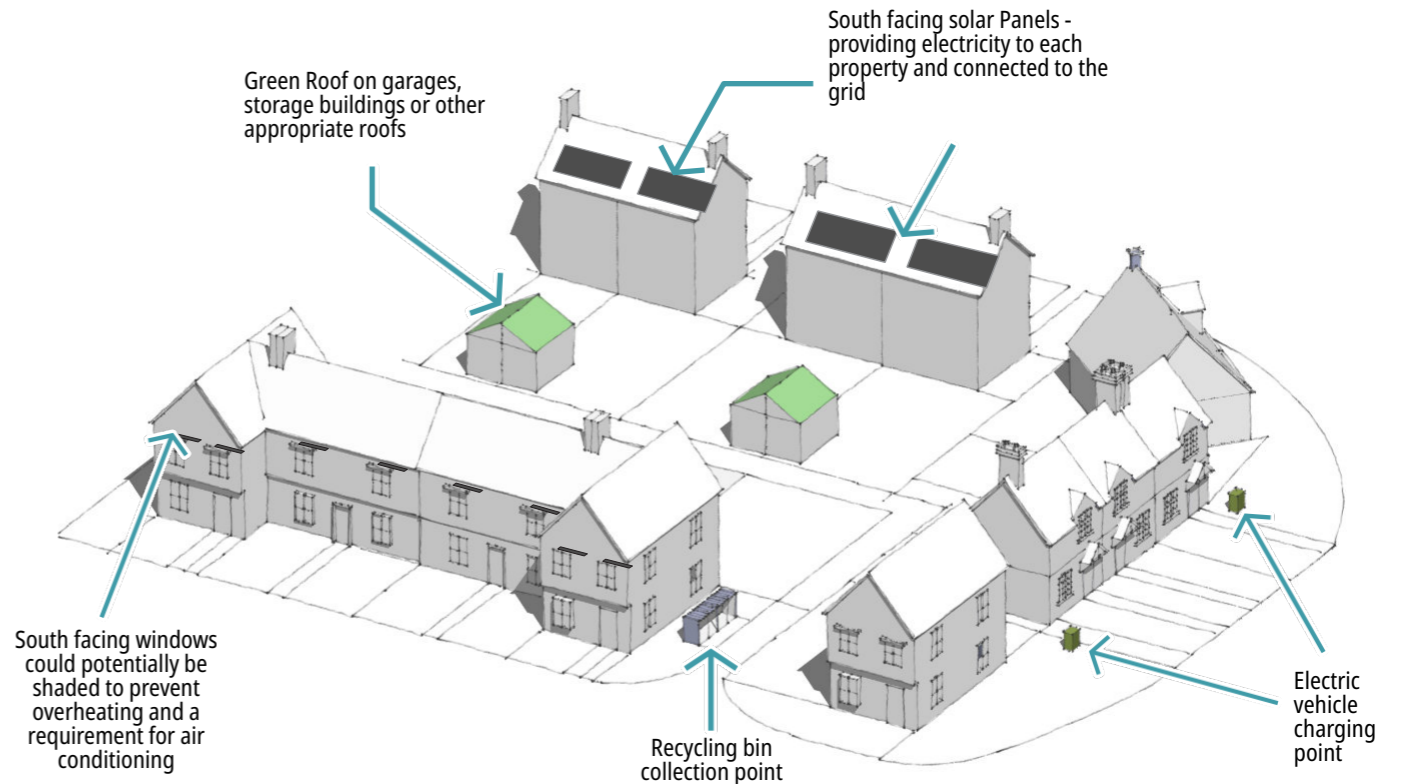
CODE LAM.C01 - Low and Net Zero Carbon Buildings

The following matters should be included in new development. Whilst new building will be required to follow Building Regulations, it may also be possible to retrofit energy efficiency measures to the existing buildings.

Low Carbon Buildings

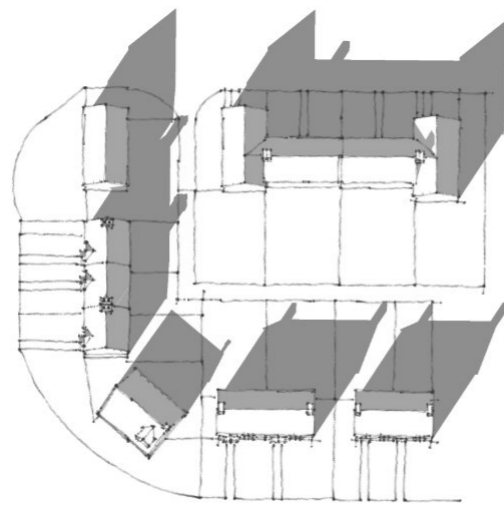
- a. Insulation - greater levels of insulation must be provided in lofts and walls (both for cavity and solid walls)
- b. Air tightness must be increased with minimisation of draughts. Doors and windows are the most common source of problems, however floors particularly suspended floors can be easily insulated.
- c. New windows should be replaced by double or triple glazing, but should follow the guidance above. South facing windows may need to be shaded and north facing windows should avoid larger panes of glass, which would enable greater heat loss.
- d. Low carbon heating alternatives to gas or oil boilers must be sought. Solar panels are encouraged.
- e. Water and electricity usage must be reduced by using more efficient products.
- f. Where possible, materials should be re-used in situ to reduce waste and embodied carbon.
- g. Green space, green roofs and walls must be maximised to reduce effects of flooding and overheating.
- h. In areas prone to river and surface water flooding particularly, floor levels and the position of items sensitive to water ingress must be considered.
- i. Design gardens and boundary treatments to allow water to move through without obstruction.

Incorporating Renewable Energy

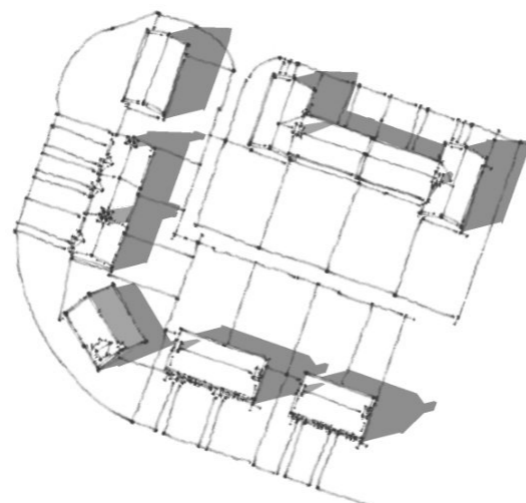


CODE LAM.C02 - Renewable Energy & Passive Solar Gain and Shading

- a. It is important that the site layout should be designed to optimise renewable energy use. Including:
 - The effect of site layout design and individual building design in relation to energy consumption.
 - Improving energy efficiency through passive solar gain and efficient form
 - High performance construction and materials.
 - Early consideration of renewable energy in the design process. Types of renewable energy technologies include; solar power, wind electric systems, hydro power systems, biomass and a variety of heat pumps.
- b. With accurate design, energy-positive buildings may be developable, in which the building produces more energy than it consumes. Where possible, new development should be designed to achieve and equal or greater level of energy generation to consumption.
- c. Where viable renewable energy systems should be connected to the grid to enable energy supply if requirements are not met or an energy surplus can be fed back into the grid.
- d. To maximise solar gain in the winter, buildings should be within 30° of due south, where ever possible.
- e. Deciduous trees can be strategically placed to provide summer shading and avoid overheating, as can louvre windows and other shading detailing such as a Brise soleil.



The two examples here highlight the difference orientation makes to a scheme. In example 1, there are a number of dwellings with north facing gardens and areas which are completely overshadowed.



The second example is orientated such that there are no due north facing gardens. This means both gardens and dwellings receive direct sunlight for more hours of the day.

Orientation- Passive Solar Gain and Shading

The orientation of buildings and passive solar gain should be considered in the early design stages.

To maximise solar gain in the winter, buildings should be within 30° of due south, where ever possible.

Maximising the number of building within this range should help inform the layout. In addition

the north side may have a higher ratio of wall to windows to minimise heat loss.

This however needs to be balanced with existing building lines and patterns of development

Deciduous trees can be strategically placed to provide summer shading and avoid overheating, as can louvre windows and other shading detailing such as a Brise soleil.

CODE LAM.C03 - Construction & Materials

- a. New development **should** aim for a net zero carbon construction process and total embodied carbon.
- b. Carbon **can** be reduced in the design process through reducing the amount of materials needed through structural design and building form, in addition to choosing lower carbon materials.
- c. Developers **must** seek to reduce carbon emissions during the construction phase. This can be achieved through employing local contractors and reusing and recycling building materials and reducing site waste.
- d. The standard to which buildings are constructed will affect total embodied carbon for the lifetime of the building. New development must be sufficiently insulated and air tight.
- e. Renewable energy & low carbon appliances **should** be installed in new properties.
- f. At the design and construction stages consideration for the 'end of life' of the building **should** be considered as to reduce carbon emissions from demolition and ensuring materials are reusable.
- g. Where proposals affect the fabric of existing buildings, applicants **should** consider the retrofitting of appropriate materials and technologies to lower carbon emissions.

Water, Flooding & Sustainable Drainage

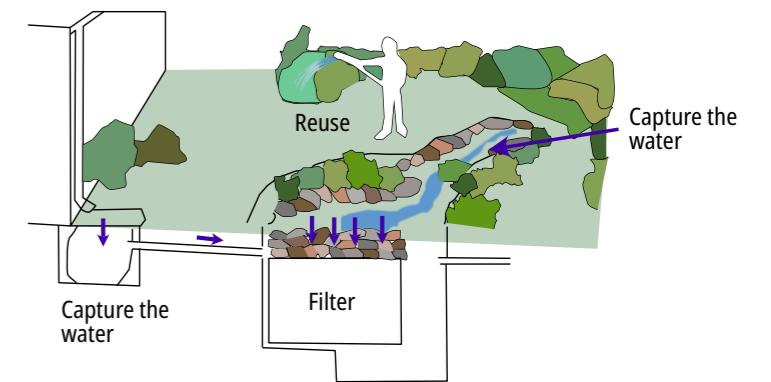
Sustainable drainage systems (SuDS) are a way of managing rainwater that mimics natural drainage processes. This can help to reduce flooding, improve water quality, and create more attractive and biodiverse spaces.

Green SuDS use vegetation and other natural materials to manage rainwater. Examples include green roofs, rain gardens, and swales.

Natural flood resilience features are elements of the landscape that can help to slow down and divert floodwaters. Examples include wetlands, woodlands, and floodplains.

Flood resistance measures help to prevent buildings from being damaged by floodwaters. Examples include raising the ground level around buildings, installing flood barriers, and using waterproof materials.

Flood resilience measures help buildings to recover quickly from flooding. Examples include designing buildings so that they can be easily dried out and repairing any damage caused by floodwaters.



Water-saving measures can help to reduce the amount of water that is used. Examples include installing water-efficient appliances, planting drought-tolerant plants, and taking shorter showers.

Rainwater harvesting is the collection and storage of rainwater for reuse. Grey-water harvesting is the collection and reuse of household wastewater from sinks, showers, and baths.

CODE LAM.W01 - Water Usage & Recycling

- a. Rainwater **can** be utilised for a range of daily activities including cleaning and flushing toilets. New development should employ rainwater & storm water harvesting wherever possible. Any such system should have 4 main components:
 - collection
 - treatment
 - storage and
 - distribution.
 - b. The system **should** consider the local rainfall pattern and the size & material of the collection surface for optimal operation and economic viability.
- Rainwater must not flow into open gullies due to potential risk of contamination.
 - Potential overflows should be accounted for in design to avoid flooding.
 - Storage devices should be protected against extreme weather conditions.
- More information can be found from the West Berkshire Council as the Lead Local Flood Authority.

CODE LAM.W02 - Watercourses & Bodies of Water

- a. New major development **should** maximise opportunities to create ponds, watercourses and other water bodies to connect biodiversity with leisure.
- b. Buildings **should** be designed to incorporate views of existing or new water courses or bodies.
- c. Buildings **should** be sited to leave a sufficient buffer zone for bank maintenance and allow for appropriate flood works where necessary.
- d. Opportunities **could** be explored to add to the green infrastructure network creating walking and cycling paths along / around these water features.

CODE LAM.W03 - SUDS & Flood Resilience

- a. **Drainage and sewage treatment and capacity should be considered early in the development planning and design process, particularly where surface water and fluvial flood risk is identified. The drainage scheme should be designed along with other key considerations.**
- b. **Existing watercourses, existing surface water flow routes across the site, and existing drainage systems, must be taken into consideration and the drainage strategy should mimic natural drainage patterns as closely as possible.**
- c. **Adoption of permeable paving solutions instead of tarmac is supported. Gravel is a widely used surface in the Parish, but suitable containment strips or materials should be used to ensure that there is limited spillage onto the highway.**
- d. **Permeable pavements reduce flood risk by allowing water to filter through. They should:**
 - **Respect the material palette;**
 - **Help to frame the building;**
 - **Be easy to navigate by people with mobility aids;**
 - **Be in harmony with the landscape treatment of the property; and**
 - **Help define the property boundary.**
- e. **Gardens and soft landscaping and the use of appropriate planting should be maximised to reduce the overall area of impermeable hard surfacing. The introduction of non-porous hard surfaces is likely to increase surface water volumes and increase local flood risk.**
- f. **Green space can be incorporated for natural flood protection e.g. permeable landscaping, swales etc.**
- g. **The collection of water within new development is encouraged to collect rainwater from roofs and reduce the overall rainwater runoff impact of any development. This can take the form of a water butt on an individual property, to a large scale water tank on larger sites with rainwater and grey water stored and reused to reduce the demand on mains supply.**
- h. **Where flood water currently adversely affects a property, any new proposals to reduce the impact or to improve matters, would be supported, subject to design and effect on biodiversity.**
- i. **Ensure waste water proposals will not exacerbate the current problem areas identified in the Plan. Development proposals must be accompanied by sufficient information to highlight sewer capacity and functionality as appropriate to the scale of development.**

Proposals should not result in an increase to flood risk to either a development site or to surrounding properties.

New development should seek to avoid Flood Zone 3 where possible, in particular avoiding areas of functional floodplain. In this regard, the Sequential and Exception Tests should be referred to, and development sited as prescribed in the NPPF.

Sustainable drainage is designed to reduce the rainwater run-off rate. This reduces the risk of flooding and increases the biodiversity, water quality and amenity.

New development, especially major development schemes, should seek to capture rainwater for use on site. This can be used for irrigation and non-potable uses.

If capturing is not possible, schemes should aim for water to infiltrate into the ground or gradually release into a body of water. This can be done through:

- Green roofs
- Permeable surfacing
- Swales
- Planting and rain gardens



Commercial Buildings Design Code

Commercial buildings

Design Principles for Commercial Development in Lambourn

This section outlines the design considerations for new commercial, agricultural, racehorse industry, industrial, and retail units within the Lambourn Neighbourhood Plan area.

Balancing Business Needs and Landscape Sensitivity:

The Parish contains a wide range of businesses from shops and services within the centre of Lambourn, businesses associated with the racehorse industry, the industrial properties in and around Membury and Lambourn Woodlands, as well as small scale individual businesses scattered throughout the Parish.

Its location within the North Wessex Downs National Landscape demands a responsible approach to development. This design code ensures new commercial properties integrate seamlessly with this sensitive environment.

The Design Code complements and adds further details to the Neighbourhood Plan and its policies, which have been written to recognise the importance of accessible employment opportunities, services, and facilities to the community.

This aim is for a positive and supportive approach for new and existing businesses within the plan area. It aligns with the plan's land-use strategy, but at the same time respects the needs of those people living in and around the employment areas.

Benefits of Good Design:

A well-designed building offers numerous advantages for businesses. It can enhance operational efficiency as well as create a positive and professional environment. This is particularly important in some parts of Membury, where in the past businesses have evolved, often without permission and with a lack of control over the appearance of the site. This has had a significant detrimental impact on the quality of the environment, which is a concern given the National Landscape status, as well as the amenity of neighbouring residents.

Given the range of commercial development within Lambourn Parish, new development could involve:

- Construction of new buildings within the Local Plan designated business areas.
- Development on brownfield or other designated sites within or near the village.
- Conversion of existing traditional buildings for commercial use.

Contemporary Design



Before (top) and after (bottom) photos highlighting how, through careful choice of materials buildings old industrial buildings can be modernised and make a positive contribution to the character of the area

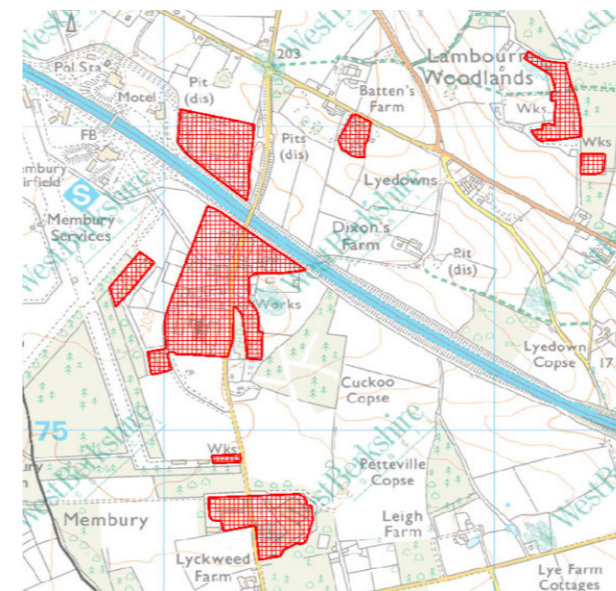
The focus on traditional buildings does not mean that a contemporary approach will not be acceptable.

Modern, high quality design is encouraged, and to be successful, the proposal should be sensitive to locally specific materials, features and landscapes by utilising materials such as steel, timber, and glass within the more traditional palette set out on page 81.

Key Elements for New Developments:

Proposals for new commercial development should consider the following key factors:

- Preserving natural beauty of the North Wessex Downs National Landscape and Local Character.
- Minimising Impact on Neighbours - New development should not create unreasonable noise, traffic, odour, or disturbance for residents.
- Sustainability - Projects should embrace opportunities for sustainable design practices to minimise environmental impact.



The current location of the Protected Employment Areas (PEA) in the adopted Development Plan - to be replaced by amended Designated Employment Areas (DEA) in the Local Plan Review.

- High-Quality Design - The design, materials, finishes, landscaping, and treatment of the surrounding area should be of high quality and contribute positively to the identified character of the area.

The Designated Employment Areas

These design considerations also apply to new buildings within existing employment areas. There are many areas within Membury Industrial Areas and Woodlands St Mary and Lambourn Woodlands where it is crucial to ensure a cohesive development approach.

This cumulative impact has led to a fragmented appearance with clashing styles and materials. This is in addition to often uncontrolled open storage, poor quality landscaping (or lack of landscape implementation and maintenance), which directly detracts from any existing business which has considered the design and appearance of their site.

It is recognised that many of the sites within the employment area have become lawful through the passage of time with no formal planning permission. See <https://www.planningportal.co.uk/planning/planning-applications/consent-types/lawful-development-certificate>.

However as the site evolves and permission may be sought, it is hoped that conditions will be imposed which raise the quality of such areas.

The key to the successful integration of new buildings will be to ensure that conditions are monitored for implementation and continued adherence. This is of particular importance for operation hours, and landscaping, where there are numerous instances of non-compliance within the Membury / Woodlands area.



An example of positive contemporary commercial development within the heart of the Lambourn Conservation Area

The objective for the Membury / Woodlands area is a consistent approach to uses, design, materials, landscaping, and site layout. This will in time result in an area with a strong sense of place and a positive overall impression.

Sensitivity to Context

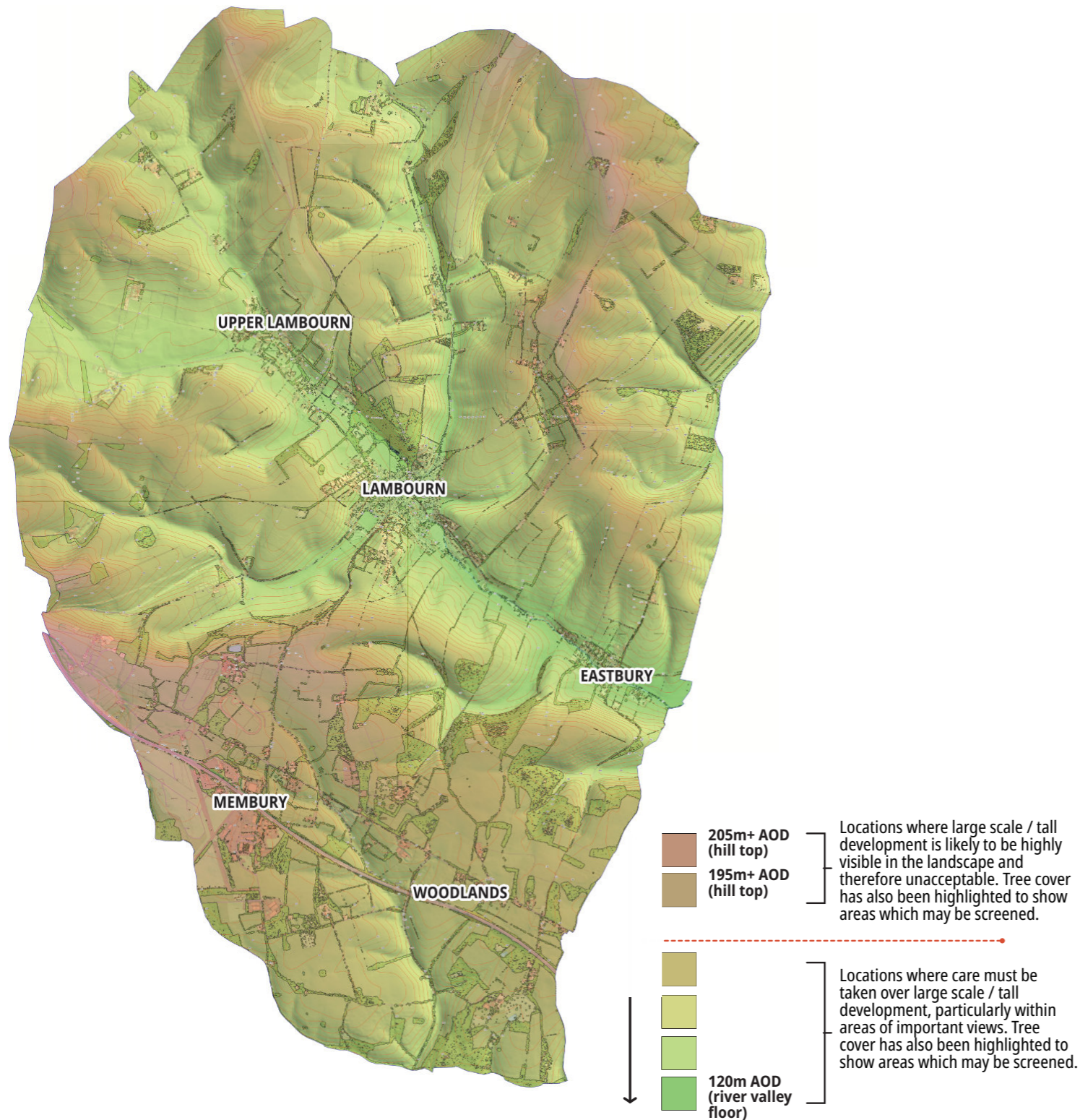
In comparison to residential buildings, the requirements of commercial properties are often very different. It is often simplicity, functionality, and robustness, which are key in the costing and design of a commercial property. The design will also depend on the exact nature of the business use.

Quite often, its siting and impact on the landscape and neighbouring properties are low on the list of priorities.

In design terms there will be a substantial difference between a small, low key development of offices or small scale start-ups, when compared to manufacturing businesses for example. The impact that such buildings will have and the need for mitigation will vary significantly.

There are numerous large scale industrial buildings within the Parish which currently have a detrimental impact on the landscape character. These are often buildings which are of a height which is dominant and can be seen in the wider landscape views. Given the extensive nature of the views gained from the rolling landscape, tall buildings are a particular problem in the Parish, particularly where they are above the tree line.

It is understood that the tower at Trinity Grain (Ramsbury Road) is approximately 60 metres in height. This is made more prominent by the topography where the site is located at 205m above ordnance datum (AOD), and is seen by residents as totally incongruent with the landscape.



An example of buildings which are highly visible in the public realm and lack sufficient landscaping

Unfortunately, this building height is now being cited by developers as being an acceptable limit for the height of new buildings, which is not the case.

It is essential therefore that new development does not repeat previous decisions which has led to development that is visually harmful to the character of the area. The plans on these pages highlight the

Landform, Topography and Siting of Development - Membury & Woodlands Inset



CODE LAM.I01 - Context of Commercial Buildings - Scale Height and Mass

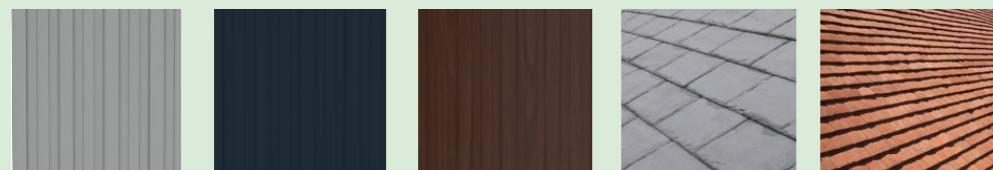
- a. Designs should be sensitive to the surrounding landscape and draw inspiration from local building traditions to maintain the unique character of the neighbourhood. Please see the palette of local materials for guidance.
- b. Whilst the specific needs of a business influence the size, form, and layout of a new building, its overall design, including the height, mass and layout of the building, must respect the unique character of the Neighbourhood Plan Area set within the North Wessex Downs.
- c. Development within the areas highlighted on pages 79 and 80 above as being unsuitable for tall or larger scale buildings are unlikely to be supported, unless they are screened from public vantage points and can be mitigated by native planting.
- d. Any mitigation planting scheme must not be based on future screening potential, but actual planting at implementation.
- e. New buildings on the edge of any of the villages or hamlets within the Parish must be designed such that they blend harmoniously with the landscape and / or the character of the settlements as identified above.
- f. Proposals must be accompanied by a contextual appraisal to justify the approach taken as one which will be locally specific to Lambourn.

CODE LAM.I02 - Materials Palette for Commercial Buildings

- a. All development **must** utilise high-quality materials and finishes that are appropriate to the local setting and result in a building, which is balanced between its function and its appearance and contribution to the character of the area.
- b. For smaller businesses, **consider** adopting the scale and proportions of a traditional barn or agricultural outbuilding to maintain a harmonious character.
- c. Whilst many large scale commercial buildings will often seek a low cost, prefabricated approach. This can often be at odds with that natural environment and have an adverse visual impact.
- d. Notwithstanding this however, there are often details that can be included to enhance the appearance of large scale buildings, whilst keeping costs down.
- e. Within the Parish, timber clad buildings are commonplace. Dark stained boards are found on agricultural buildings throughout the area and can be one way of helping larger scale commercial properties blend into the agriculture based environment.
- f. This can be paired with a brick plinth or brick and flint / brick and stone. Where not possible because of the requirement of a lightweight facing material, slips of such materials could be used instead.
- g. Where a plinth is inappropriate, the consideration of boundary walls or other internal connecting walls in local materials could be another way of ensuring the proposed development is well designed and has a positive impact.
- h. Equally, metal clad roofing is found throughout the Parish on agricultural buildings. There are many different types of roofing systems and colour coated materials. It is key that any material chosen should not be overly reflective to cause glare in the wider landscape, nor should the colour be dominant against the colours of adjacent buildings and the natural environment. Whilst many dark coloured sheet roofing materials may be appropriate, each site should be assessed individually.
- i. Where a proposal involves a large scale building (defined as major development in planning terms), justification as to the colour of the roof and its impact on the landscape will be required.
- j. On smaller scale new buildings and conversions, it is likely that a traditional slate or clay tile roof would be the most appropriate choice of material. Poor quality concrete or other alternatives are unlikely to be acceptable.



Walls - a variety of timber cladding profiles are found throughout the Parish either dark stained or natural in colour.



Roofing - a variety of metal cladding is found throughout the Parish in muted landscape tones or matte colours to blend with the skyline. Smaller buildings are often covered in natural slate or Berkshire red plain clay tile.



Plinths and Boundary Walls - brick plinths with timber cladding atop. Boundary walls in brick, brick and flint or Brick and local stone

topography of the area and the sensitivity of the employment areas to tall buildings.

Landscaping and Site Layout

The successful integration of a new development extends beyond the design of the building itself.

Well-designed landscape planting can significantly enhance the visual appeal of commercial developments:

Many commercial and industrial areas are often dominated by car parking, internal roads and other areas of hardstanding for loading and deliveries. Whilst much of this is unavoidable, the layout and level of landscaping to soften the impact on the natural environment is key.

For more details on car parking and access please see page 51 above.

A list of appropriate tree and hedgerow planting which is native to the area is found on page 40.

Green Roofs and Walls

Green roofs and walls can be used for both sustainability reasons and to also soften prominent structures in the landscape.

A green roof on a building can have considerable insulation benefits, both in terms of building performance, but also for sound proofing benefits.

Even simple changes to an industrial layout can make a significant difference.

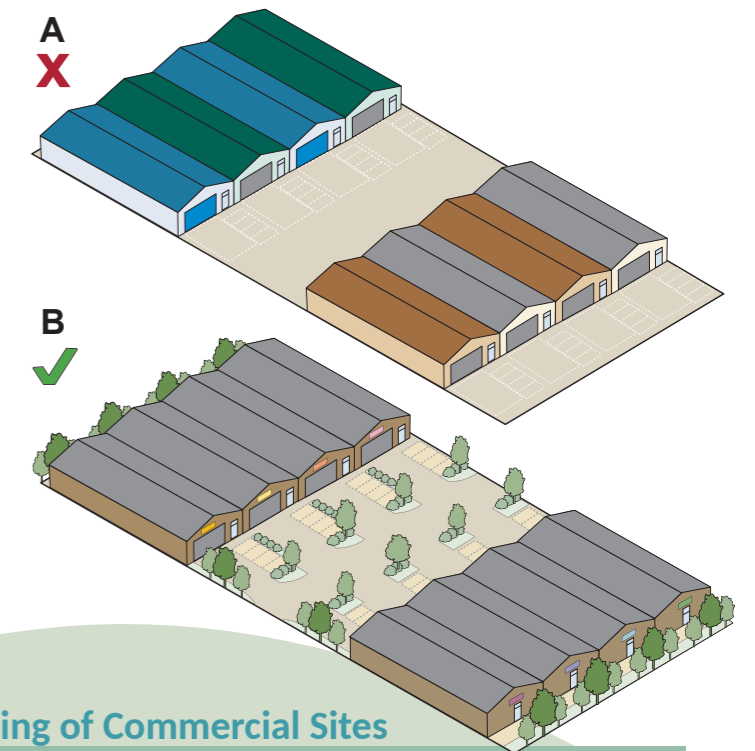
In the example below, layout A has a hard urban layout devoid of landscaping. There is no colour scheme for the buildings and units can be painted in any shade.

Layout B in comparison has been arranged to maximise the space available for planting, whilst still leaving sufficient circulation space for vehicles.

To the rear of the buildings space existing for workers to sit outside and for further boundary landscaping to be provided to integrate the site within the landscape.

The colours of the buildings reflect that of the natural environment and surrounding agricultural barns.

Personalisation and signage can also be included to differentiate buildings clearly.



CODE LAM.I03 - Hard and Soft Landscaping of Commercial Sites

- a. Careful consideration **must** be given to the treatment hard landscaped areas, roads and parking, which must be softened by appropriate native planting, to ensure the development functions as required, with minimal harm on the sensitive landscape and to neighbouring properties.
- b. Appropriate trees and shrubs planting are required to visually soften the impact of buildings, vehicles, and hard surfaces.
- c. Large car parks can be visually disruptive. Instead, **consider** breaking parking areas into smaller pockets, distributed around the building. These smaller areas can be effectively screened using landscaping elements including native trees, shrubs and brick / brick and flint or brick and stone walls.
- d. Consider the use of green roofs and walls where appropriate. These can also be added to existing buildings
- e. Landscape conditions **must** be implemented and maintained accordingly as per the permission.
- f. Given the problems with flooding within the Parish, it is **essential** that new development employs sufficient mitigation for any new hard surfaces installed. As a starting point, permeable surfaces for parking areas and pathways must be proposed, alongside other sustainable drainage management measures (see section x), reducing the risk of flooding and impact on surrounding properties.

Utilising green roofs on outbuildings and structures around the site can also have a positive benefit on the overall visual impact of a proposed large scale building. Cycle stores, bin stores and other storage buildings are potentially all suitable for green roofs or walls.

The type of roof or wall and its access and maintenance should be appropriate to each circumstance and considered from the outset.

Developers should consider the potential for incorporating green roofs and walls on some or all of the proposed buildings and structures to enhance environmental sustainability and to limit



Shipping containers and old portakabins are often scrapped and stacked 3 or 4 containers high, these are often highly visible in the landscape. Low key single storey containers can be landscaped more effectively and painted in landscape appropriate colours where they are bright colours.

visual impact.

Outdoor Storage

Outdoor storage is particular problem in the Parish, with many businesses having tall stacked products and bulky waste goods on display, which are visually harmful.

Others may utilise more low level approach such as utilising single storey shipping containers for example.

In all instances, such operations can take place within the countryside (subject to the need for permission), but only where the impact on the landscape is minimised.

CODE LAM.I04 - Outdoor Storage

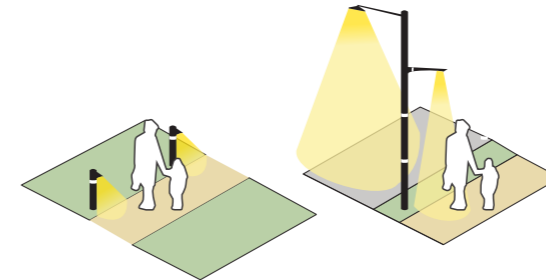
- a. **The adverse visual impact must be minimised in the North Wessex Downs National Landscape by locating storage areas near existing buildings and ensuring they don't exceed the height of existing eaves level.**
- b. **Where open storage is not contained by buildings, the proposal must be located in a suitable area as shown on the views, topography and landscape sensitivity plan on page 79.**
- c. **Proposals must utilise effective and appropriate boundary treatment such as native landscape planting to effectively screen storage areas from public view.**

For businesses requiring outdoor storage of materials or equipment, the Design Code below must be followed.

Lighting

Lambourn Parish is recognised for its rare dark sky environment and it is a key objective of the North Wessex Downs management to preserve this status.

The lack of light pollution is also a key factor in ensuring that nocturnal animals such as bats



Lighting should be designed according to the needs of the user and balanced with the effect on biodiversity and impact on natural resources.

can forage effectively.

To preserve this special characteristic, lighting design should follow the design code adjacent.

Lambourn Parish Council (LPC) Street Light Project

LPC is in the process of completing a streetlight upgrade in Lambourn where all lights will be upgraded to LED. This will reduce light pollution and deliver better value for money to Parishioners. The lights are "warm white" and some lights are already fitted with shields to reduce light spill.

Following a public consultation in Eastbury, the majority of streetlights have been removed to move towards a dark sky environment with the remainder left in key areas such as by bus stops, junctions etc.

Upper Lambourn continues to be a dark sky environment with no street lighting

The Parish Council does not have street lights in Lambourn Woodlands or Woodlands St. Mary.

The Parish Council does not plan to add additional streetlights to the area

The next stage of the project will be to optimise light output e.g. dimming/switch off overnight

CODE LAM.I05 - Lighting

- a. **Limit unnecessary lighting: Use only the minimum illumination required for safety and security purposes. Consider whether lights need to be controlled by motion sensors, to limit both impact and energy requirements**
- b. **Limit high level lighting where unnecessary. For paths and car parks, low level lighting may be adequate. Any lighting column, bollard or fixture should be fitted with shields or screens that direct light downwards, reducing light spill.**
- c. **Consider the type and output of lighting and its impact on bats. The use of LED lights are preferable to other types.**
- d. **The colour temperature of lights is used to describe the appearance of white light and is usually referred to as warm, neutral or blue. Blue light or light of a temperature above 2700k can be harmful to bats and invertebrates and should not be used.**
- e. **Light spill from window and roof lights should be limited. Designers should use recessed windows and avoid large roof lights.**
- f. **Where large display windows are required, deep recesses with down-lighting within the recess should be considered first.**
- g. **The use of automatic blinds and louvres may be acceptable on commercial buildings where it can be incorporated into usage policies. However these are not appropriate on residential properties due to infrequency or lack of use.**
- h. **Illuminated signs are not supported and alternative solutions should be explored.**
- i. **Where a bat habitat is found on site, it may be necessary to create lighting zones based on the sensitivity of areas of the site.**
- j. **Please see Guidance Note 8 Bats and Artificial Lighting from the Bat Conservation Trust and Institute of Lighting Professionals (2023).**

to reduce energy consumption/light pollution.

Security and Crime Prevention

Designers should focus upon designing in passive security to proposed development rather than rely on physical security features.

This could included ensuring that buildings are sited and oriented to ensure good levels of public surveillance, as well as ensuring public and private spaces are clearly marked.

In addition to the general design principles above, proposals for racing yards, equestrian use, other racehorse industry development or farm development proposals should include information to respond to the following as appropriate to the application:



Image A shows unpainted palisade fencing and close board fencing which are inappropriate in the North Wessex Downs.



Image B shows a painted palisade fence which blends in better with the landscape, but would benefit from further planting infill any gaps.



Image C shows a green coated security fence backed by a dense hedge. This serves to screen the industrial development and outdoor storage areas effectively.

Racehorse Industry (RHI) and Farm Development and Diversification

CODE LAM.I06 - Security & Crime Prevention

- a. Security covers many aspects, but following on from the lighting section above, security lighting is an important aspect and a balanced approach should be taken.
- b. Fencing is a key consideration, particularly when visible from the public realm.
- c. Close board or panel fencing is rarely appropriate as are extensive amounts of security fencing. These are urban in nature and visually unappealing.
- d. Fencing should be painted in a landscape appropriate colour softened by planting.
- e. The installation of CCTV cameras is permitted development, subject to specific conditions. However, CCTV equipment can appear visually intrusive and detract from the character of buildings or the surrounding area. Where CCTV is necessary, installation should be carefully considered to minimise visual impact. The number of cameras and their mounting locations should be limited and, where feasible, shared between properties or integrated with existing structures to reduce clutter and visual disruption.
- f. Planting to deter crime should be considered, particularly dense shrubs with thorns such as berberis or pyracanthus, can deter crime by screening vulnerable areas like ground floor windows and outdoor equipment. Such planting should not be utilised where there may be conflict with children playing.

CODE LAM.I07 - Considerations for Existing Agricultural Buildings and Racing Yards

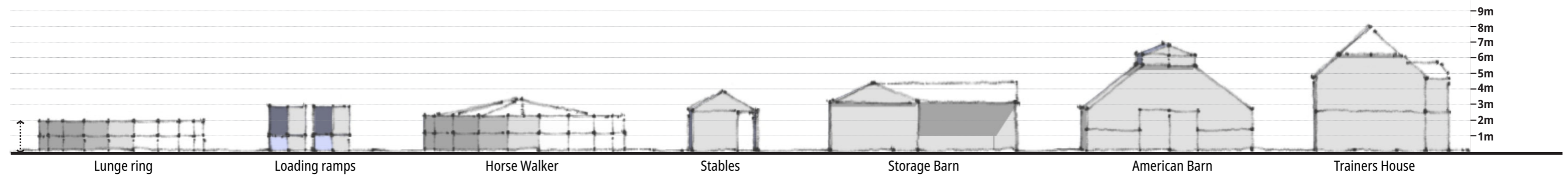
- a. Existing yard and farm buildings should contribute positively to the character of the surrounding landscape. Proposals for their conversion or extension must demonstrate enhancements in both form and function, ensuring that any changes are in keeping with the local context.
- b. Buildings that blend naturally with the existing topography or benefit from tree cover are more likely to integrate harmoniously into the landscape. Where buildings are visually prominent, proposals should seek to reduce their impact through sensitive design, massing, and siting.
- c. The existing arrangement of buildings within a farmstead or yard should be respected, particularly where this reflects traditional layouts or holds historical significance. Whether buildings are closely grouped or more widely dispersed, proposals should respond appropriately to the existing pattern.
- d. The orientation of structures and open spaces is often informed by historical or functional reasons. Development should reflect or enhance these patterns where appropriate, improving site legibility and cohesion.
- e. The height of existing buildings should be proportionate to the surrounding landscape. Where current structures appear visually intrusive, proposals should address these issues through improved design that mitigates adverse impacts.
- f. Materials used in existing buildings should ideally reflect local character, with an emphasis on quality, durability, and thermal performance. Proposed materials must integrate with the landscape and complement the character of nearby buildings, using locally distinctive palettes wherever possible.

CODE LAM.I08 - New Agricultural Buildings and Racing Yard Buildings and Structures

- a. Whenever possible, new buildings should be sited adjacent to existing buildings within the established farm or yard complex. It is key to maintain a compact grouping of structures which will minimise the spread of buildings and other elements across the sensitive National Landscape.
- b. New structures should not interfere with the enjoyment of Public Rights of Way close to the site.
- c. Specific site features should be preserved (e.g. hedgerows, mature trees, historical farm courtyards and outbuildings)
- d. Where the development will require new or altered access points, it should not have an adverse impact on the current road network through the number and type of traffic movements or the widening or alteration of roads or rural lanes.
- e. Tall buildings must not be sited within important viewpoints or where they would disrupt the skyline.
- f. Where a new large scale building is required in the open countryside, mitigation measures must be included such as appropriate native screening or partially burying structures into sloping topography.
- g. Proposals should not alter existing historic field boundaries, including original walls and key historic structures of importance.



Indicative Illustration of the Scale of Racehorse Industry Building and Structure Types

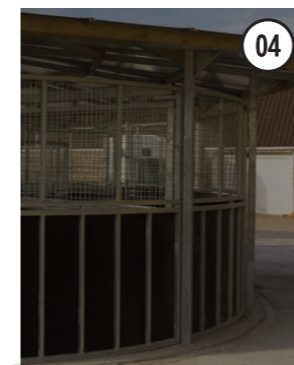
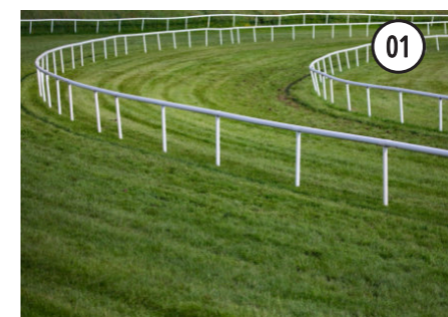


Please note that the above illustration is for racehorse industry buildings and not general equestrian use.

Whilst the building / structure types for both uses may be similar, the scale of buildings and suitability in this location for general equestrian may not be appropriate, particularly in highly visible locations in the landscape.

CODE LAM.I09 - New Racing Yard Buildings and Structures

- a. **Materials for new RHI development should be appropriate to the structure or building.**
 - b. **For barns and stables (photos 03, 06), the CODE LAM.I02 - Materials Palette for Commercial Buildings should be used.**
 - c. **For residential accommodation, the CODE LAM.L06 - Materials & Colour Palette should be used.**
 - d. **For surfaces: areas of hard-standing traditionally comprised of macadam or concrete. However these are only suitable for access routes requiring heavier vehicular traffic. Please note that these are not porous and will require drainage. In other circumstances, permeable block paving or carrstone are more appropriate to the sensitive landscape.**
- Fencing/Railings:**
- a. **Warm up track and horse walkers should use traditional racing rails painted white which are commonplace throughout the Parish (photo 01).**
 - b. **It should be noted although there has been an introduction of green painted posts (which will assist in softening the landscape impact (photo 02), white rails are easily seen by horses and need to remain white where necessary for health and safety reasons.**
 - c. **Paddocks - due to the sensitivity of the North Wessex Downs National Landscape, paddocks should be secured by mixed native hedging. As horses may graze any planting, consideration must be given to the correct mix. This must be balanced to ensure compatibility with the largely chalk downland soil, but also ensure that there are no poisonous or harmful plants for horses within any mix specified.**
- d. **The subdivision of paddocks with electric or temporary fencing, often has led to an adverse impact on the landscape. This is usually associated with general equestrian use rather than the racehorse industry, but subdivision of historic field patterns should not be altered.**
- Exercise Areas:**
- a. **Yards contain a number of different structures associated with exercise including lunge rings and horse walkers. These are often located in visible areas of the National Landscape. A balance needs to be struck between accessibility to the yard design and appropriate siting within the landscape (including appropriate screen planting).**
 - b. **The following highlights of acceptable materials for lunge rings and walkers, although care should be taken to ensure materials are suitable so that they are not chewed or ingested by horses.**
 - c. **Lunge rings should be constructed of metal and timber cladding with a sand or synthetic all weather surface (photo 07).**
 - d. **Horse walkers are generally covered, however the surfaces are all weather and generally buff in colour.**
 - e. **As with lunge rings, horse walkers should also be constructed of timber cladding, wire mesh and corrugated metal roof (photo 05).**
 - f. **There may be some less sensitive locations where a traditional black rubber construction may be appropriate (photo 04).**



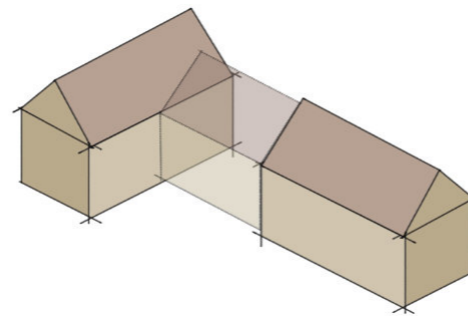
Agricultural Conversions and Extensions

CODE LAM.I10 - Conversions & Extensions

- a. Restoration of existing buildings of age in the Parish is preferable to the demolition and replacement of buildings.
- b. Where buildings are modernised, it is advised existing proportions of doors and windows should be considered as set out on page 24.
- c. Use appropriate materials and techniques for extensions. A mix of modern and traditional materials can be appropriate as set out on pages 16 and 81 and allows for greater innovation in design.
- d. Link extensions can be a way of joining two buildings together. It is important for the link to have a much smaller footprint and height than the buildings that it connects. This can be particularly helpful when joining two outbuildings or former agricultural buildings together.
- e. It is essential that the key features of the building should be retained in any development proposal. The introduction of urbanising features would not be appropriate, as would the loss of key vegetation.
- f. Agricultural buildings contribute to the rural setting, the character and appearance of Lambourn and conversions to these buildings should reference age, design, form, materials used, roof structure and the presence of any architectural detailing.
- g. The introduction of overtly domestic features and additional window or door openings tend to be out of character.
- h. Retention of exiting features and a simple design approach is usually most appropriate.
- i. Large extensions or ancillary buildings are not usually appropriate for conversions. Landscaping and boundary treatments need careful attention and should be designed to be as informal and simple as possible.

The Parish contains numerous historic farms which are still in use, or where the former buildings retain many agricultural elements.

When farm buildings become redundant many are often converted under permitted development (where appropriate). It is hoped that this document will be used for guidance.



Linking two existing buildings through the use of a small, subservient structure



Traditional timber cladding and clay tile roof



Traditional courtyard arrangement to be retained



Successful retention of existing openings allow the original use to be read



Domestic style porch and windows often alters the barn character to a more residential and confused appearance

Positive Agricultural Development Examples



The image here shows a successful before (top) and after (bottom) conversion of traditional farm buildings combined with new modern farm buildings to the rear. The farm yard is well landscaped and is effective for modern farming needs.

Design Checklist for Development Proposals

General questions and issues to consider when presented with a development proposal

There are a number of locally specific principles which should be demonstrated in the proposals:

- **Connecting and strengthening the existing green network to enhance ecological corridors and the provision of quality open space including green spaces.**
- **Integration with the existing movement network with regard to street hierarchy, pedestrian priority and ecological corridors.**
- **Strengthening of the existing local character including appearance of buildings and spaces and integration with the physical form.**
- **Respecting existing context and buildings in terms of scale, height form and massing and considering loss of light and privacy.**
- **Relation to topography and existing land form whilst respecting important views and gaps.**
- **Reinforcing local distinctiveness and place identity and retention of significant existing features and using appropriate materials**
- **Sufficient provision of sustainable waste management, flood mitigation and renewable energy technologies and energy efficient design.**

- **Does the proposal constitute a high quality and sustainable site specific solution?**
- **Does the proposal meet requirements set out in this document, if not are the reasons justified?**
- **Is it suited to the local context and does it enhance local character?**
- **Are building heights appropriate to their context, topography and level of screening?**
- **Will the proposal maximise efficient use?**
- **Does the proposal encourage active travel and provide sufficient parking solutions?**
- **Has building form and architectural detailing been used to create interest and enhance place identity?**

Monitoring and Review

It is considered that this document should be monitored and reviewed alongside the Neighbourhood Plan and at the same timescale.



Conclusion

This document sets out design code guidance for new development within Lambourn. It should be used by decision makers and applicants to design and develop buildings and places which positively contribute to the existing character and achieve high quality design.

The design codes within this document have been informed through background evidence base in preparation for the Neighbourhood Plan.

Produced by

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